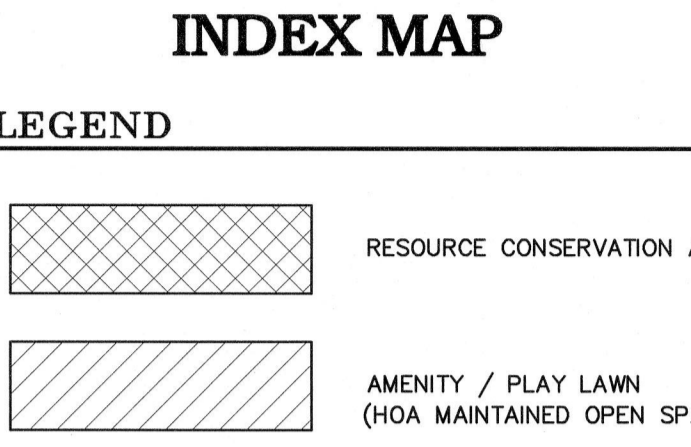
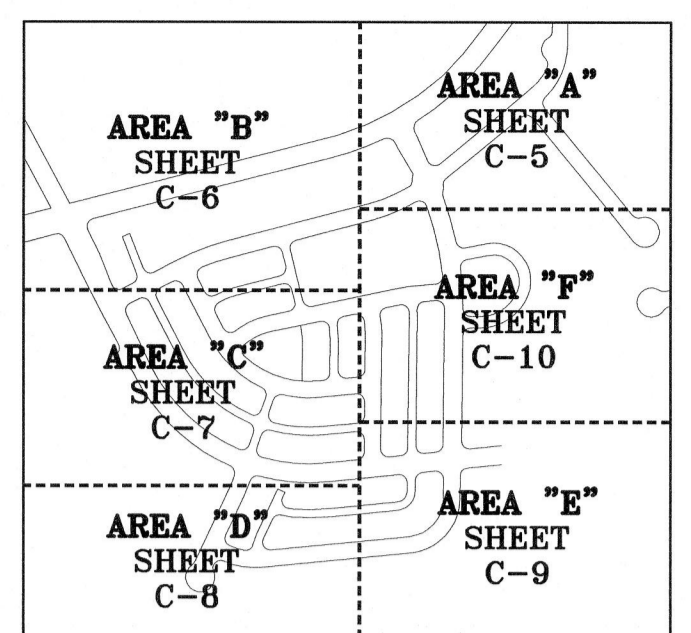
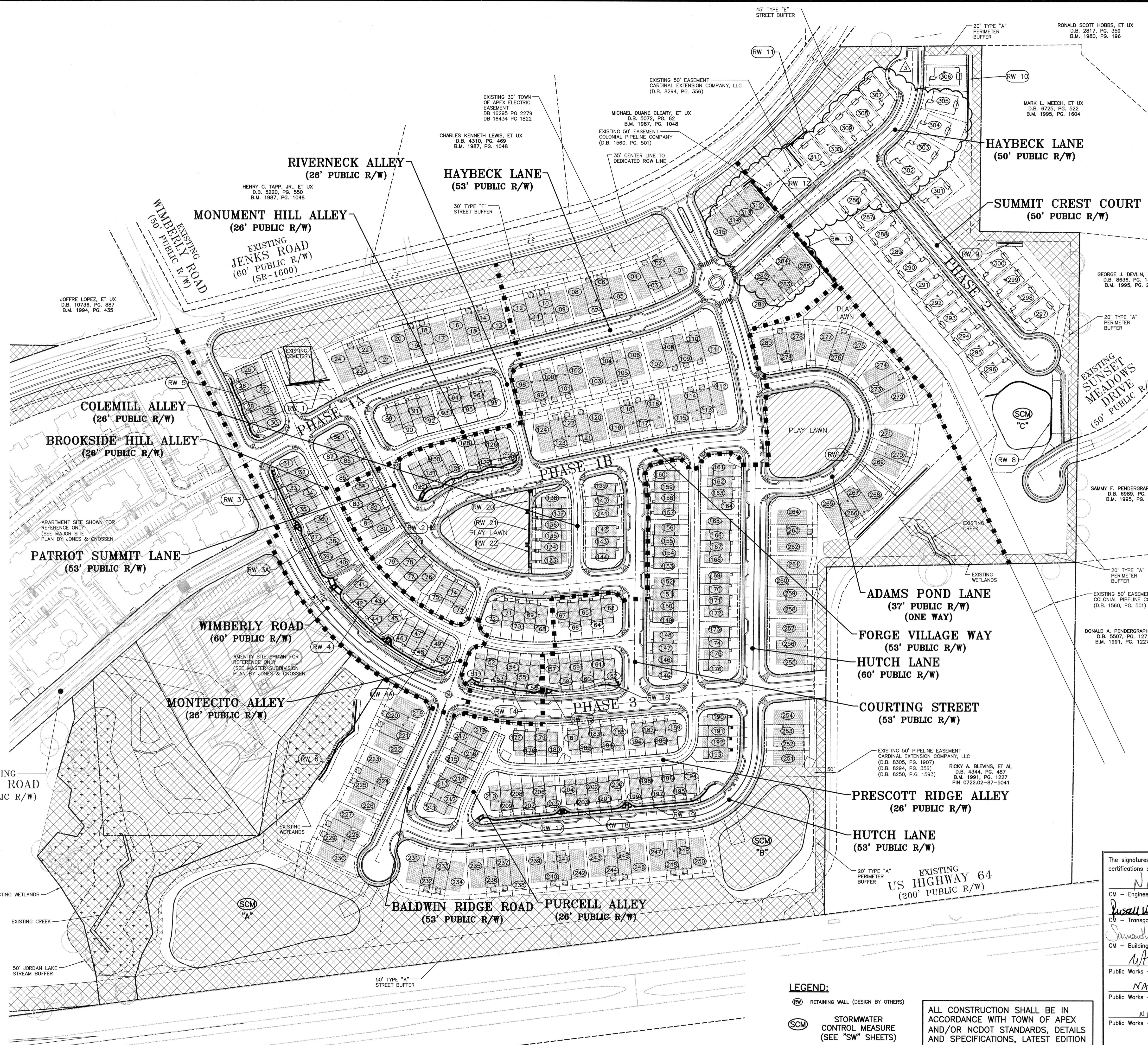


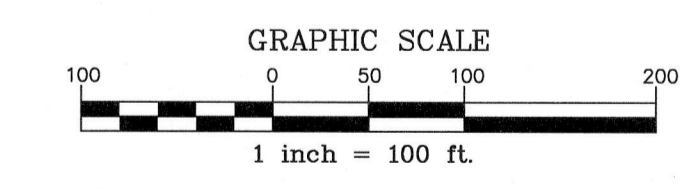
X:\Projects\TMH-17020\Land\Construction Drawings\Current Drawings\TMH17020-0AS1.dwg, 3/11/2018, 2:30:59 PM, Perez-Lacoma, Alfredo



- SITE PLAN NOTES:**
- WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTION BETWEEN 2' AND 8' IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF APEX AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO BACK OF CURB OR EDGE OF PAVEMENT (IF CURB IS NOT PRESENT).
 - EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
 - CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCRETE. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
 - EXISTING IMPROVEMENTS SLATED TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
 - THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
 - CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
 - EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE.
 - ONCE THE FIRST LIFT OF ASPHALT IS PASSABLE BY VEHICLES, THE DEVELOPER IS REQUIRED TO INSTALL WEATHER RESISTANT TEMPORARY ROAD NAME SIGNS AT ALL INTERSECTIONS PRIOR TO PLAT APPROVAL. THESE SIGNS SHALL BE MAINTAINED BY THE DEVELOPER UNTIL REPLACED BY THE PERMANENT SIGNS.
 - MAIL KIOSKS ARE TO BE HANDICAP ACCESSIBLE.
 - ANY AND ALL MAIL KIOSKS SHOWN ON THE PLAN ARE REQUIRED TO BE INSTALLED PRIOR TO THE FIRST HOUSE OBTAINING A CERTIFICATE OF OCCUPANCY. IF A PROJECT IS PHASED, THE MAIL KIOSKS LOCATED IN THAT PHASE MUST BE INSTALLED PRIOR TO RECEIVING CO.
 - ALL ON STREET PARKING IS PUBLIC PARKING AND SHALL BE HOA MAINTAINED.

- TRANSPORTATION NOTE:**
- NO MORE THAN 300 UNITS SHALL BE PLATTED PRIOR TO THE THIRD POINT OF ACCESS BEING CONSTRUCTED AND DEDICATED.

- HOA MAINTENANCE NOTE:**
- ALL SIDEWALKS TO BE HOA MAINTAINED EXCEPT FOR SIDEWALK ALONG JENKS ROAD.



- LEGEND:**
- (RW) RETAINING WALL (DESIGN BY OTHERS)
 - (SCM) STORMWATER CONTROL MEASURE (SEE "SW" SHEETS)

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF APEX AND/OR NCDOT STANDARDS, DETAILS AND SPECIFICATIONS, LATEST EDITION

The signatures affixed below certify that this sheet has been reviewed and approved solely per the certifications signed on the cover sheet of these construction plans.

CM - Engineering	Date	Public Works - Stormwater	Date
<i>[Signature]</i>	4/10/19	<i>[Signature]</i>	4/22/19
CM - Transportation	Date	Planning	Date
<i>[Signature]</i>	4/11/19	<i>[Signature]</i>	4/21/19
CM - Building Inspections	Date	Planning - Transportation	Date
<i>[Signature]</i>	4/11/19	<i>[Signature]</i>	4-5-19
Public Works - Water/Sewer	Date	Fire	Date
<i>[Signature]</i>		<i>[Signature]</i>	
Public Works - Electric	Date	Parks, Recreation & Cultural Res.	Date
<i>[Signature]</i>		<i>[Signature]</i>	
Public Works - S&E	Date		
<i>[Signature]</i>			

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WESTFORD CONSTRUCTION DRAWINGS
 APEX, NORTH CAROLINA

OVERALL SUBDIVISION LAYOUT PLAN

PROJECT NO. TMH-17020
 FILENAME: TMH17020-0AS1
 CHECKED BY: RCA
 DRAWN BY: RAD
 SCALE: 1"=100'
 DATE: 03-08-2018
 SHEET NO. C-4

MCADAMS