

LEGEND	
	TREE BARRICADE
	TREE SPECIES (PER SURVEY)
	TREE TO BE REMOVED
	LIMITS OF INVASIVE SPECIES REMOVAL

AREAS OF INVASIVE PLANT REMOVAL
 REMOVAL SHALL CONFORM TO STANDARDS ESTABLISHED BY LOCAL, REGIONAL AND STATE REGULATORY AGENCIES.
 ADDITIONAL REPORTING AS OUTLINED IN REMOVAL TABLE SHALL APPLY FOR INVASIVE REMOVAL OF PLANT MATERIAL IDENTIFIED IN THE OUTLINED SITE LOCATIONS NOTED ON THIS PLAN

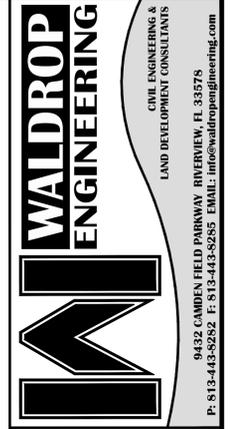
WETLAND CONSERVATION AREA NOTE:
 THE WETLAND CONSERVATION AREA SHALL BE RETAINED IN A NATURAL STATE PURSUANT TO THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE (LDC) AS AMENDED, THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION ACT, CHAPTER 84-448, AND CHAPTER 1-11, RULES OF THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION COMMISSION. IN ADDITION, A 30 FOOT SETBACK FROM THE WETLAND CONSERVATION AREA IS REQUIRED AND SHALL CONFORM TO THE PROVISIONS STIPULATED WITHIN THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE.

TREE & OTHER VEGETATION - DESIGN STANDARDS NOTES:
 LDC Sec. 4.01.06.A
 • THE TREE REPLACEMENT INCHES ARE CALCULATED FOR TREES THAT DO NOT FALL WITHIN BUILDING ENVELOPE, AND IMMEDIATE ADJACENCY PER SECTION 4.01.06.A.2 (AS NOTED BELOW).
 • TREES THAT WERE NOTED AS 24" OR LARGER THAT WERE REMOVED AND NOT GRAND OAKS ARE INDICATED AS BEING REPLACED 50% OF TOTAL INCHES REMOVED PER SECTION 4.01.06.A.7. (AS NOTED BELOW).
 • GRAND OAKS ON THIS PROPERTY TO NOT EXCEED THE 48" THRESHOLD FOR REPLACEMENT BEYOND 1:1 AS PER SECTION 4.01.06.A.2 & 4.01.05.A.7
 LDC Sec. 4.01.06.A.2 & 4.01.05.A.7
 2. THE DEVELOPER SHALL PRESERVE ALL TREES HAVING A DBH OF FIVE INCHES OR GREATER AND NATIVE VEGETATION AS DESCRIBED BELOW. THIS PROVISION SHALL APPLY EXCEPT IN CASES WHERE REMOVAL IS NECESSARY TO ALLOW ACCESS TO AND IMMEDIATELY ADJACENT PROPOSED STRUCTURES OR OTHER IMPROVEMENTS TO ALLOW DEVELOPMENT OF RECREATIONAL OPEN SPACE REQUIRING CLEARED AREAS, TO REMOVE UNHEALTHY OR DAMAGED VEGETATION, TO INSTALL A UTILITY OR SOLAR ENERGY EQUIPMENT THAT COULD NOT OTHERWISE BE INSTALLED OR TO COMPLY WITH OTHER REGULATIONS OF HILLSBOROUGH COUNTY.
 7. THE DEVELOPER SHALL BE REQUIRED TO REPLACE 50 PERCENT OF THE TOTAL DBH OF ANY TREE HAVING A DBH OF 24 INCHES OR GREATER OR ANY CLUMP OF TREES, AS DEFINED IN THIS CODE, THAT IS TO BE REMOVED FROM THE SITE. IRREPARABLY UNHEALTHY OR DAMAGED TREES, AS DETERMINED BY THE ADMINISTRATOR, SHALL NOT REQUIRE REPLACEMENT. IF THE TREE REMOVED IS A SPECIES WHICH EITHER HAS UNDESIRABLE GROWTH HABITS OR IS SUSCEPTIBLE TO FREEZE DAMAGE, AS DETERMINED BY THE ADMINISTRATOR, REPLACEMENT SHALL NOT BE REQUIRED. A GRAND OAK, HOWEVER, SHALL BE REPLACED AS INDICATED BELOW IF AUTHORIZED FOR REMOVAL BY THE ADMINISTRATOR.

TREE NOTES:
 PRUNING OF A GRAND OAK, WITH THE EXCEPTION OF MINOR PRUNING, IS PROHIBITED UNLESS CONDUCTED IN ACCORDANCE WITH THE ANSI-A-300 PRUNING STANDARD AND PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) OR A REGISTERED CONSULTING ARBORIST WITH THE AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA). MINOR PRUNING IS THE PRUNING OF A TREE BY THE REMOVAL OF BRANCHES LESS THAN THREE INCHES IN DIAMETER AT THE POINT OF CONNECTION TO A SUPPORTING BRANCH AND SHALL BE IN ACCORDANCE WITH THE ANSI-A-300 PRUNING STANDARD. A NOTARIZED AFFIDAVIT AFFIRMING AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST WILL CONDUCT OR PROVIDE ON-SITE SUPERVISION OF THE PRUNING SHALL BE SUBMITTED TO THE COUNTY PRIOR TO THE PRUNING OF A GRAND OAK. AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST CONTRACTED BY A PROPERTY OWNER TO PRUNE A GRAND OAK SHALL ASSUME FULL RESPONSIBILITY FOR ALL PRUNING ACTIVITIES DETERMINED IN NONCOMPLIANCE WITH STANDARDS SPECIFIED WITHIN THE LAND DEVELOPMENT CODE.

INVASIVE REMOVAL NOTES:
 A. REMOVAL OF THESE SPECIES FROM DEVELOPABLE UPLANDS, AND ALL BUFFERS AND SETBACK AREAS LANDWARD OF REQUIRED EROSION CONTROL DEVICES, IF ANY THROUGH HAND, MECHANICAL, AND/OR CHEMICAL MEANS, FROM A SITE DEVELOPMENT OR SUBDIVISION PROJECT SHALL BE COMPLETED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE OF IMPROVEMENT FACILITIES, RESPECTIVELY, AS SPECIFIED IN THE NATURAL RESOURCES PERMIT. REMOVAL SHALL ONLY BE REQUIRED FOR THE PORTION OF THE PROJECT DESCRIBED IN THE NATURAL RESOURCES PERMIT. HOWEVER, REMOVAL IS NOT REQUIRED ON A SUBDIVISION LOT(S) WHEN THE LOT(S) WILL NOT BE ALTERED, WITH THE EXCEPTION OF UTILITIES INSTALLATION, DURING THE CONSTRUCTION OF IMPROVEMENT FACILITIES. REMOVAL SHALL OCCUR AT THE TIME OF BUILDING CONSTRUCTION.
 B. WHEN CONSERVATION OR PRESERVATION AREAS EXIST WITHIN THE PROJECT BOUNDARIES AND CONTAIN A SIGNIFICANT AMOUNT OF THE ABOVE LISTED INVASIVE PLANT SPECIES, AS DETERMINED BY THE COUNTY AND THE EPC, THE COUNTY ADMINISTRATOR SHALL ALLOW THE DEVELOPER TO REDUCE THE REQUIRED CONSERVATION/PRESERVATION SETBACK UP TO 50 PERCENT, OR REDUCE THE TREE REPLACEMENT REQUIREMENT AS DEFINED IN 4.01.06.A SIX UP TO 50 PERCENT, PROVIDED THE DEVELOPER REMOVES THE INVASIVE PLANT SPECIES FROM THE CONSERVATION/PRESERVATION AREA. ROOTS, AS SPECIFICALLY APPROVED, MAY BE CONSTRUCTED UP TO FIVE FEET FROM A CONSERVATION AREA AND UP TO 15 FEET FROM A PRESERVATION AREA.
 C. AS DETERMINED BY THE ADMINISTRATOR, THROUGH CONSULTATION WITH THE APPROPRIATE REGULATORY AGENCIES, REMOVAL MAY NOT BE REQUIRED IF SUCH REMOVAL PROCEDURES WOULD CAUSE ADVERSE IMPACTS TO THE ENVIRONMENT. ADVERSE IMPACTS MAY INCLUDE DISTURBANCE OF LISTED PLANT OR ANIMAL SPECIES, DEGRADATION OF ANY NATURAL PLANT COMMUNITIES OR PROMOTION OF SOIL EROSION BY WIND OR WATER.

INVASIVE PLANT REMOVAL, DISPOSAL, AND MAINTENANCE NOTES:	
SUBMITTAL REQUIREMENTS	REMOVAL METHODS/REQUIREMENT
1) MAINTENANCE ENTITY:	TAYLOR MORRISON OF FLORIDA, INC.
2) MAINTENANCE RESPONSIBILITY INSTRUMENT:	MAINTENANCE INSTRUMENT SHALL BE IN THE FORM OF DOCUMENTS FOR A 5 YEAR PERIOD AS REQUIRED.
3) TYPES OF INVASIVE PLANTS:	BRAZILIAN PEPPER (SEE PLAN FOR REMOVAL AREAS)
4) GENERAL LOCATION OF INVASIVE PLANTS:	SEE PLANS (THIS SHEET)
5) INVASIVE PLANT REMOVAL REGULATORY PERMITS:	INVASIVE REMOVAL OF PLANT MATERIAL SHALL BE HAND CLEARED WITH APPROPRIATE REMOVAL PERMITS APPROVED BY ENTITY IN AREAS UNDER REGULATORY JURISDICTION BOTH LOCAL AND STATE.
6) METHODS OF PROPOSED REMOVAL (CHEMICAL AND/OR MECHANICAL):	INVASIVE PLANTS SHALL BE REMOVED BY BOTH MECHANICAL AND CHEMICAL MEANS FOR INITIAL REMOVAL AND MAINTENANCE DURING 5 YEAR PERIOD AS NEEDED.
AREAS OF CONCERN: REGARDING TIME OF YEAR	TIME OF YEAR REMOVAL SHALL BE MECHANICAL BY HAND WITH SIMILAR APPLICATION UTILIZED AS DIRECTED BY CERTIFIED TECHNICIAN.
CHEMICAL APPLICATIONS	ONLY APPLIED BY CERTIFIED TECHNICIAN
SITE DISTURBANCE	MECHANICAL HAND CLEARING IN SENSITIVE AREAS WITH APPROPRIATE REMOVAL PERMITS
SOIL STABILIZATION	AS NECESSARY UTILIZING SILT FENCING AND SODDING, AS WELL AS NECESSARY CONSTRUCTION TECHNIQUES TO MAINTAIN SOIL STABILIZATION.
7) PROPOSED MEANS OF DISPOSAL:	EXOTICS SHALL BE REMOVED TO APPROPRIATE SITE FOR VEGETATIVE MULCHING OR EDUCATION WITHIN COUNTY DESIGNATED FACILITIES.
8) TECHNIQUES FOR CONTINUED ERADICATION OF INVASIVE SPECIES:	DURING THE FIVE YEAR PERIOD, QUARTERLY REMOVAL AND ANNUAL CHECKUP OF INVASIVE AREAS SHALL BE PERFORMED BY THE ASSIGNED LANDSCAPE MAINTENANCE COMPANY FOR THE CONTINUED REMOVAL AND ERADICATION OF INVASIVE SPECIES.
9) STATEMENT OF UNDERSTANDING FOR CONFORMANCE TO MONITORING REPORT:	REPORTS ARE REQUIRED FOR SUBMITTAL WITHIN 6 AND 12 MONTHS DURING FIRST TWO YEARS OF REMOVAL PROCESS AND ONE TIME ANNUALLY FOR YEARS THREE THROUGH FIVE, AS OUTLINED IN HILLSBOROUGH COUNTY INVASIVE REMOVAL, DISPOSAL, AND MAINTENANCE PLAN REQUIREMENTS.

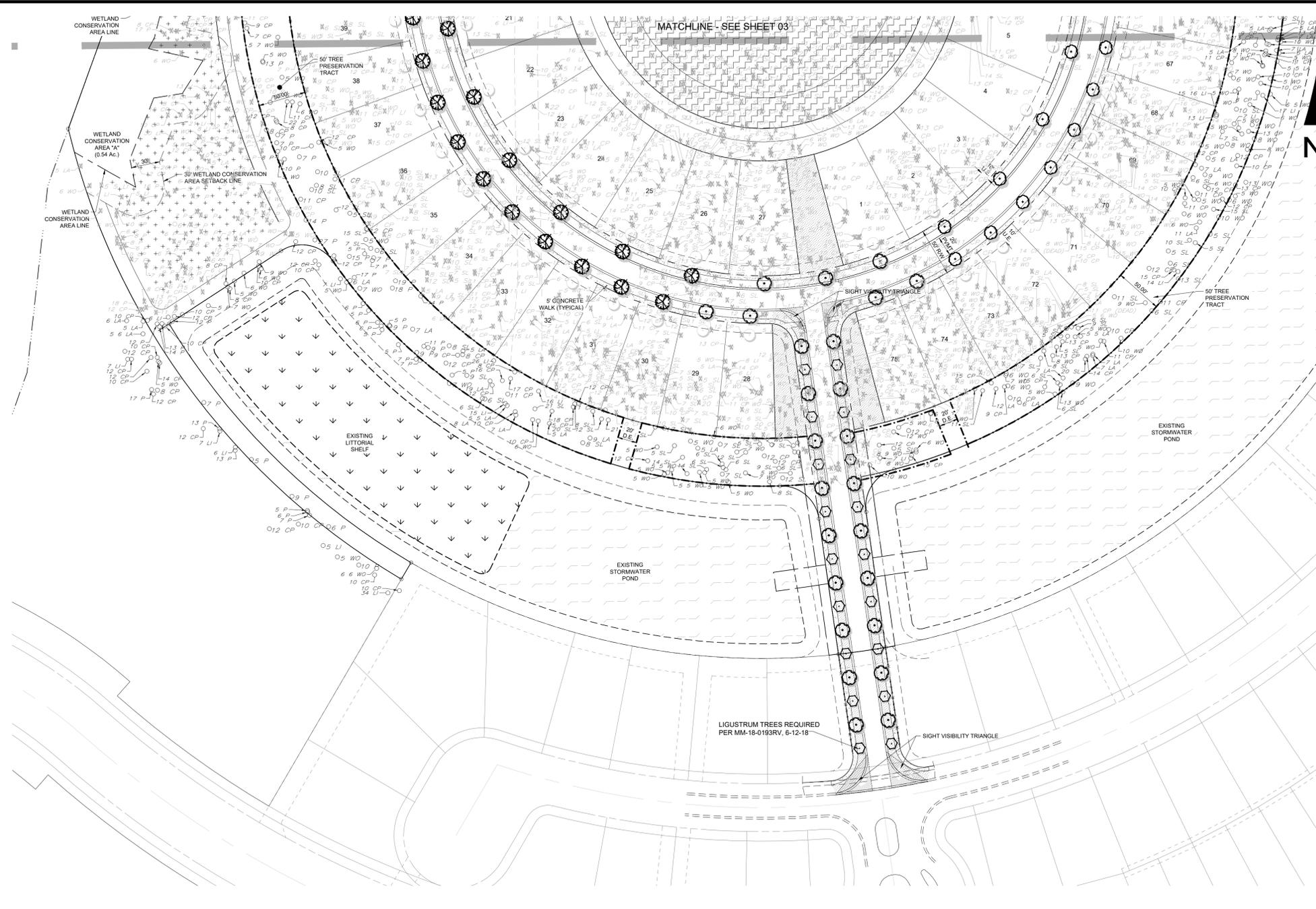


CODE MINIMUM LANDSCAPE PLANS
OAK CREEK PARCEL 10
 CLIENT: TAYLOR MORRISON OF FLORIDA, INC.
 INVASIVE SPECIES REMOVAL PLAN

PLAN REVISIONS	REV/02 - SUBMITTED - 01/14/2019
1	REVISED PER COUNTY COMMENTS
FLORIDA CERTIFICATE OF AUTHORIZATION HLC2000033	
RYAN R. BINKOWSKI, P.L.A. FL LICENSE NO. LA66474	
SET NUMBER:	302-27-01
SHEET :	02

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LEGEND	
	TREE BARRICADE
	TREE SPECIES (PER SURVEY)
	TREE TO BE REMOVED

TREE REPLACEMENT REQUIREMENTS	
A TOTAL OF 414" D.B.H. INCHES OF EXISTING TREES ARE BEING REMOVED FROM THE SITE BASED ON INITIAL SITE CONDITIONS & CIVIL DESIGN. D.B.H. = 414"	
50% TOTAL D.B.H. REPLACEMENT INCHES = 207"	
TOTAL REPLACEMENT INCHES REQUIRED = 207"	
REQUIRED TREES TO BE INCREASED FROM 1" DBH TO 2" DBH	
STREET (SHADE) TREES: (Live Oak/Magnolia)	
94 AS REPLACEMENT TREES 2" D.B.H. = 94 x 1" D.B.H. = 94"	D.B.H. = 94"
LOT SHADE TREES:	
75 AS REPLACEMENT TREES 2" D.B.H. = 75 x 1" D.B.H. = 75"	D.B.H. = 75"
TOTAL D.B.H. = 169"	
TOTAL REPLACEMENT INCHES ON-SITE D.B.H. = 169"	
TOTAL ON-SITE INCHES DETERMINED FOR REPLACEMENT D.B.H. = 207"	
TOTAL ADDITIONAL INCHES BELOW REQUIREMENT = 38"	

TREE & OTHER VEGETATION - DESIGN STANDARDS NOTES:
 LDC Sec. 4.01.06.A

- THE TREE REPLACEMENT INCHES ARE CALCULATED FOR TREES THAT DO NOT FALL WITHIN BUILDING ENVELOPE, AND IMMEDIATE ADJACENT TO LOT 06.2 AS DEFINED IN THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE.
- TREES THAT WERE NOTED AS 24" OR LARGER THAT WERE REMOVED AND NOT GRAND OAKS ARE INDICATED AS BEING REPLACED 50% OF TOTAL INCHES REMOVED PER SECTION 4.01.06.A.7. (AS NOTED BELOW).
- GRAND OAKS ON THIS PROPERTY TO NOT EXCEED THE 40% THRESHOLD FOR REPLACEMENT BEYOND 1:1 AS PER SECTION 4.01.06 GRAND OAK REPLACEMENT RATIO TABLE.

LDC Sec. 4.01.06.A.2 & 4.01.05.A.7

- THE DEVELOPER SHALL PRESERVE ALL TREES HAVING A DBH OF FIVE INCHES OR GREATER AND NATIVE VEGETATION AS DESCRIBED BELOW. THIS PROVISION SHALL APPLY EXCEPT IN CASES WHERE REMOVAL IS NECESSARY TO ALLOW ACCESS TO AND IMMEDIATELY AROUND PROPOSED STRUCTURES OR OTHER IMPROVEMENTS, TO ALLOW DEVELOPMENT OF RECREATIONAL, OPEN SPACE OR OTHER AREAS, TO REMOVE UNHEALTHY OR DAMAGED VEGETATION, TO INSTALL A UTILITY OR SOLAR ENERGY EQUIPMENT THAT COULD NOT OTHERWISE BE INSTALLED, OR TO COMPLY WITH OTHER REGULATIONS OF HILLSBOROUGH COUNTY.
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WETLAND CONSERVATION AREA NOTE:
 THE WETLAND CONSERVATION AREA SHALL BE RETAINED IN A NATURAL STATE PURSUANT TO THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE (LDC) AS AMENDED, THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION ACT, CHAPTER 84-446, AND CHAPTER 1-11, RULES OF THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION COMMISSION. IN ADDITION, A 30 FOOT SETBACK FROM THE WETLAND CONSERVATION AREA IS REQUIRED AND SHALL CONFORM TO THE PROVISIONS STIPULATED WITHIN THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE.

PROTECTIVE BARRIERS REQUIREMENTS AND SPECIFICATIONS FOR EXISTING TREES TO REMAIN

PROTECTIVE BARRIERS are used during land alteration and construction activities to protect trees and other areas to be retained on a site.

PROTECTIVE BARRIERS must be erected around TREES to be retained within an area where land alteration and construction activities will occur as well as along NATURAL AREAS where such areas are adjacent to permitted land alteration or construction activities. A PROTECTIVE BARRIER must remain in place until the land alteration and construction activities are completed or until commencement of grade for final site holding. No ground disturbance must occur within the barricaded area. The following represents the County's minimum protective barrier specifications:

TREES: To restrict access into the area within the CANOPY DRIFLINE of a tree, a physical structure not less than 3 feet in height, composed of wood or other suitable material, is placed around the tree at the CANOPY DRIFLINE, except where land alteration or construction activities are approved within the CANOPY DRIFLINE.

The CANOPY DRIFLINE of a tree is the imaginary, vertical line that extends downward from the outermost tips of the tree's branches to the ground. Fig. A.

BARRIER SPECIFICATIONS FOR TREES:

Four corner upright stakes of no less than 2"x2" lumber connected by horizontal members of no less than 1"x4" lumber, or upright stakes spaced at 5' intervals of no less than 2"x2" lumber connected by six ropes, fabric or material of comparable durability. Fig. B.

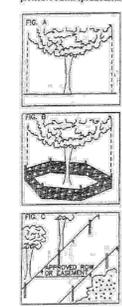
NATURAL AREAS: To restrict access into areas where land alteration and construction activities are not authorized a physical structure not less than 3 feet in height is placed along the perimeter of such areas.

BARRIER SPECIFICATIONS FOR NATURAL AREAS:

Upright stakes of no less than 2"x2" lumber spaced no more than 25' apart and connected by rope/fabric with plastic surveying tape at regular intervals of 5-10'. Fig. C. Other methods of demarcation will be considered depending upon the characteristics of the site.

WHY A BARRIER

- To protect all above ground portions of trees and other significant vegetation from mechanical damage.
- To protect root systems from compaction.
- To provide awareness of protected areas to equipment operators.



WALDROP ENGINEERING

CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTANTS

9432 CAMDEN FIELD PARKWAY RIVERVIEW, FL 33578
 P: 813-443-9252 F: 813-443-9255 EMAIL: info@waldropengineering.com

CODE MINIMUM LANDSCAPE PLANS

OAK CREEK PARCEL 10

CLIENT: TAYLOR MORRISON OF FLORIDA, INC.

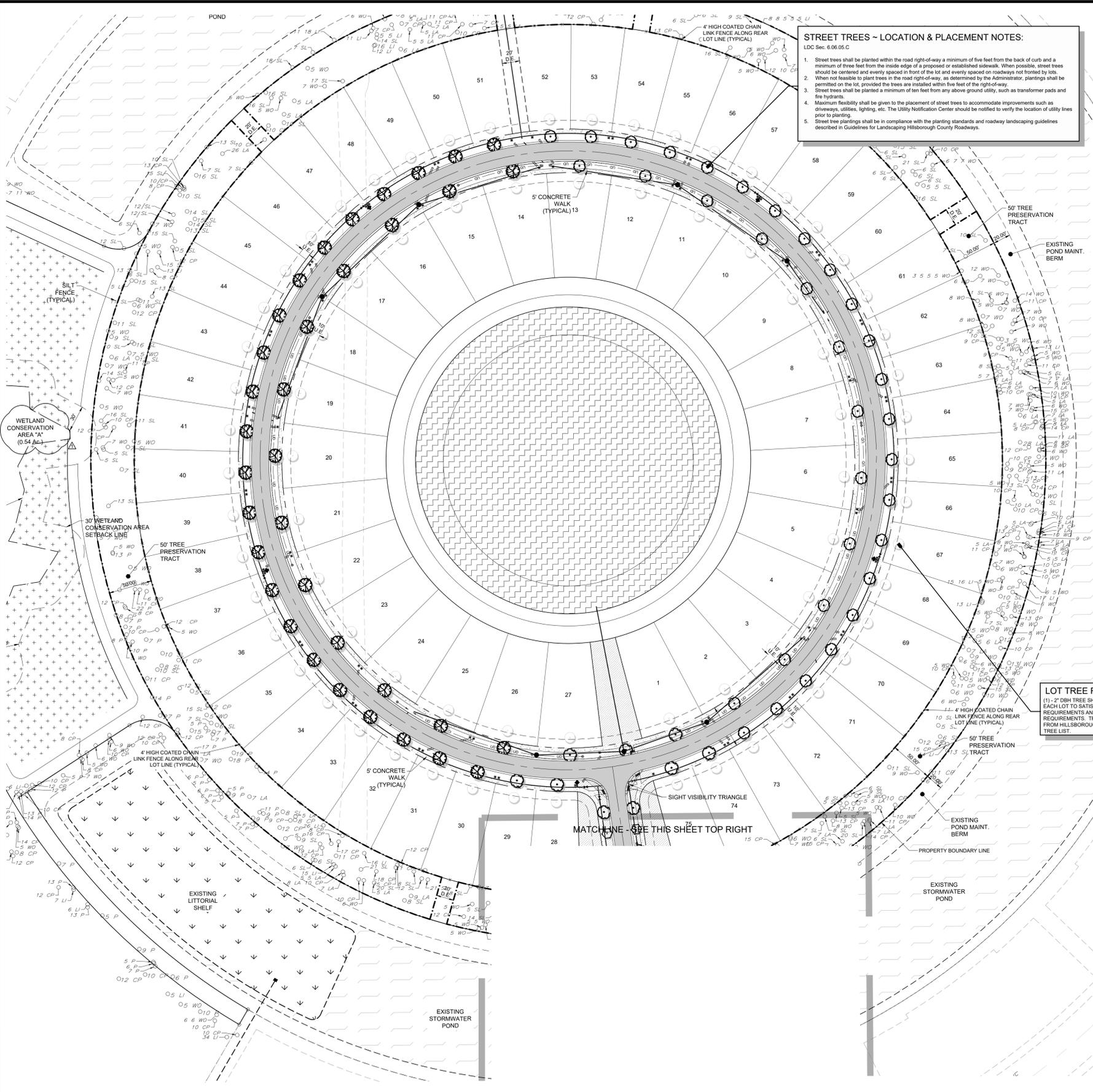
TREE PRESERVATION & TREE REMOVAL PLAN

FLORIDA CERTIFICATE OF AUTHORIZATION #LC2006035

RYAN R. BINKOWSKI, P.L.A.
 FL LICENSE NO. LA666794

SET NUMBER: 802-27-01

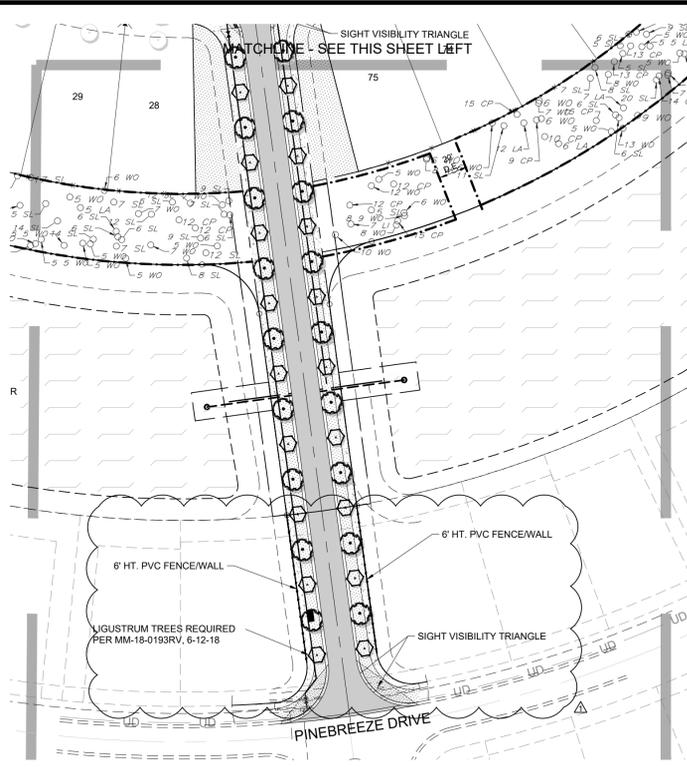
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STREET TREES ~ LOCATION & PLACEMENT NOTES:
 LDC Sec. 6.06.05.C

1. Street trees shall be planted within the road right-of-way a minimum of five feet from the back of curb and a minimum of three feet from the inside edge of a proposed or established sidewalk. When possible, street trees should be centered and evenly spaced in front of the lot and evenly spaced on roadways not fronted by lots.
2. When not feasible to plant trees in the road right-of-way, as determined by the Administrator, plantings shall be permitted on the lot, provided the trees are installed within five feet of the right-of-way.
3. Street trees shall be planted a minimum of ten feet from any above ground utility, such as transformer pads and fire hydrants.
4. Maximum flexibility shall be given to the placement of street trees to accommodate improvements such as driveways, utilities, lighting, etc. The Utility Notification Center should be notified to verify the location of utility lines prior to planting.
5. Street tree plantings shall be in compliance with the planting standards and roadway landscaping guidelines described in Guidelines for Landscaping Hillsborough County Roadways.

LOT TREE REQUIREMENTS:
 (1) - 2" DBH TREE SHALL BE PROVIDED FOR EACH LOT TO SATISFY LOT TREE REQUIREMENTS AND TREE REPLACEMENT REQUIREMENTS. TREES MUST BE SELECTED FROM HILLSBOROUGH COUNTY APPROVED TREE LIST.



STREET TREES ~ LOCATION & PLACEMENT NOTES:
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SANITARY UTILITY EASEMENT NOTE:
 NO TREES ARE TO BE PLANTED WITHIN THE 30-FOOT SANITARY SEWER UTILITY EASEMENT, AND NO TREES ARE TO BE PLANTED WITHIN 15 FEET OF A SANITARY SEWER LATERAL LINE.

UTILITY APPURTENANCE NOTE:
 THE CONSTRUCTION OF ALL ABOVE GROUND UTILITY APPURTENANCES VISIBLE FROM PUBLIC RIGHT-OF-WAY SUCH AS PEDESTALS, UTILITY METERS, TRANSFORMERS, BACKFLOW PREVENTION DEVICES, ETC. FOR NEW DEVELOPMENT OR REDEVELOPMENT ACTIVITIES SHALL CONFORM TO SCREENING REQUIREMENTS AS OUTLINED IN SECTION 6.06.06.C (1) OF THE LAND DEVELOPMENT CODE. PLANT LOCATION MUST BE CONSIDERATE OF REQUIRED SPATIAL SEPARATIONS FROM A FIRE FLOW PROTECTION APPLIANCE IN ACCORDANCE TO THE UNIFORM FIRE CODE. HEDGE MATERIAL TO BE SWEET VIBURNUM INSTALLED AT 30' ON CENTER WITH SCREENING HEIGHT TO MATCH OR EXCEED OVERALL HEIGHT FOR ABOVE GROUND UTILITY APPURTENANCES INSTALLED.

BUFFER LOCATION & PLACEMENT NOTES:
 VEGETATION THAT EXCEEDS 25' HT AT MATURITY SHALL NOT BE PLANTED CLOSER THAN 30' FROM POWER LINES TO COMPLY WITH HILLSBOROUGH COUNTY LDC 6.06.05.A & LDC 6.06.06.

NOTE:
 THERE ARE NO ADJACENT USE BUFFERS REQUIRED ON THE SITE

PLANT LEGEND

REQUIRED TREES

SYMBOL	QTY	PLANT SPECIES
(Symbol)	25	LIVE OAK (QUERCUS VIRGINIANA)
(Symbol)	35	SOUTHERN MAGNOLIA DD BLANCHARD; MAGNOLIA GRANDIFLORA DD BLANCHARD
(Symbol)	34	SHUMARD OAK (QUERCUS SHUMARDII)
(Symbol)	18	LIGUSTRUM TREE** (LIGUSTRUM JAPONICUM)
(Symbol)	75	REQUIRED LOT SHADE TREE*

TREE LEGEND

(Symbol)	TREE TO REMAIN (PER SURVEY)
(Symbol)	TREE BARRICADE

*LOT TREE SPECIES SHALL BE SELECTED FROM THE APPROVED HILLSBOROUGH COUNTY TREE LIST AT TIME OF LOT PERMITTING.
 **LIGUSTRUM TREES REQUIRED PER MM-18-0193RV, 6-12-18

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CODE MINIMUM LANDSCAPE PLANS

OAK CREEK PARCEL 10

CLIENT: TAYLOR MORRISON OF FLORIDA, INC.

LANDSCAPE PLAN

PLAN REVISIONS

NO.	DATE	REVISIONS

SCALE IN FEET: 0 30 60 120

FLORIDA CERTIFICATE OF AUTHORIZATION #LC2008035

RYAN R. BINKOWSKI, P.L.A.
 FL LICENSE NO. LA66670

SET NUMBER: 802-27-01

SHEET: 05

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