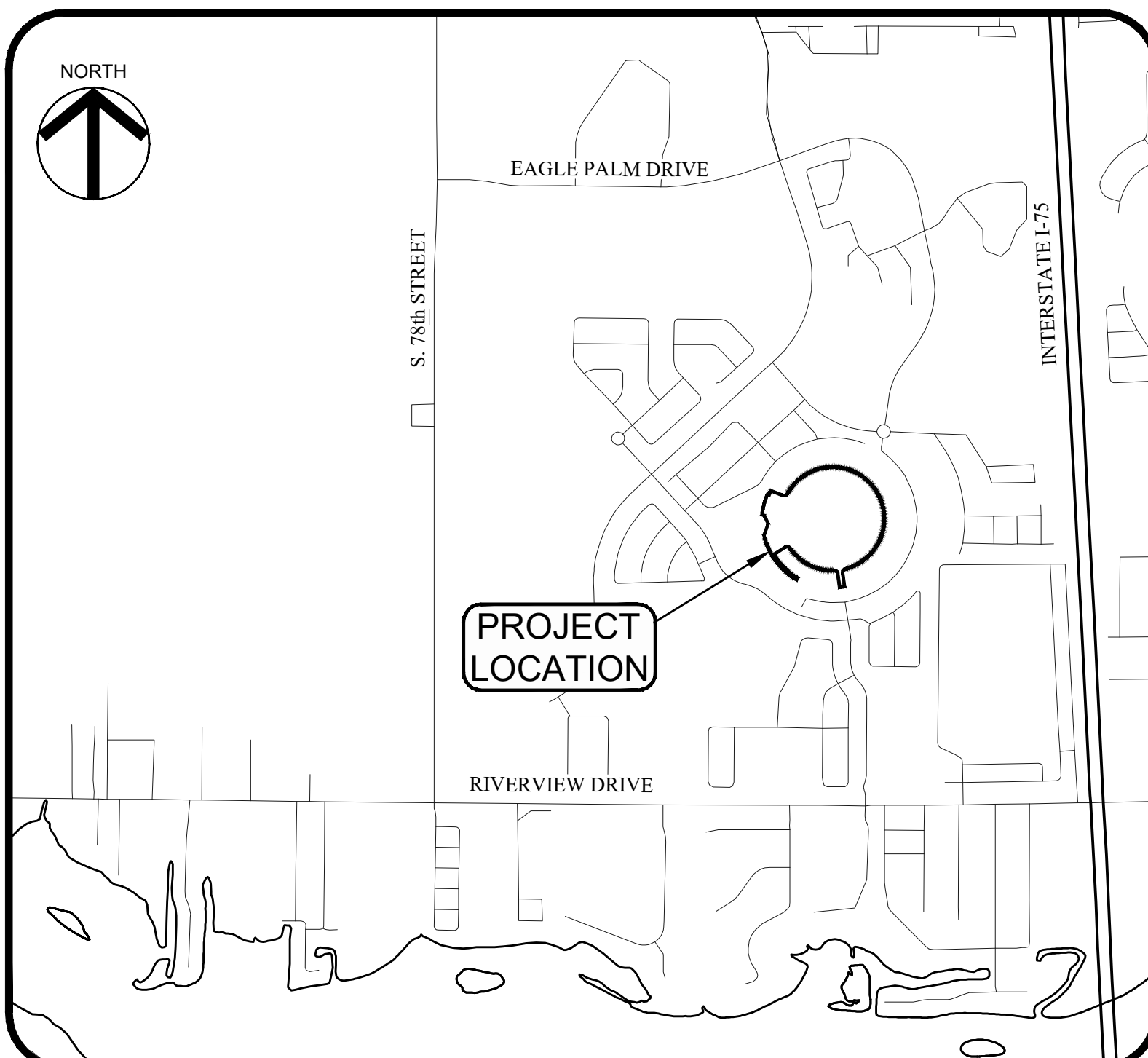


CODE MINIMUM LANDSCAPE PLANS
OAK CREEK PARCEL 10



PROJECT LOCATION MAP

NO SCALE

SITE DATA TABLE	
PROJECT LOCATION	HILLSBOROUGH COUNTY
SECTION/TOWNSHIP/RANGE	13 /30 S/19 E
FOLIO NUMBER(S)	049105-0000
PROPOSED ZONING	PD-MUJ
FUTURE LAND USE	COMMUNITY MIXED USE (CMU - 12)
MAX. ALLOWABLE GROSS DENSITY	20 UNITS/ACRE
MAX. NUMBER OF UNITS (PER PLAN)	75 (3.01 UNITS/ACRE)
LOT TYPE	SINGLE FAMILY
PROJECT AREA	24.92 Ac.
RIGHT-OF-WAY	3.12 Ac.
RESIDENTIAL TRACTS	12.90 Ac.
OTHER OPEN SPACE	7.74 Ac.
WETLANDS	0.54 Ac.
OTHER SURFACE WATER	0.03 Ac.

VERTICAL DATUM INFORMATION

THE VERTICAL DATUM UTILIZED FOR THIS PROJECT IS NGVD 1929. U.S. SURVEY FEET. THE BENCHMARK UTILIZED WAS HILLSBOROUGH COUNTY BENCHMARK "VD-216" WITH AN ELEVATION= 14.79'. THE CONVERSION FROM NGVD TO NAVD 88 = -0.87

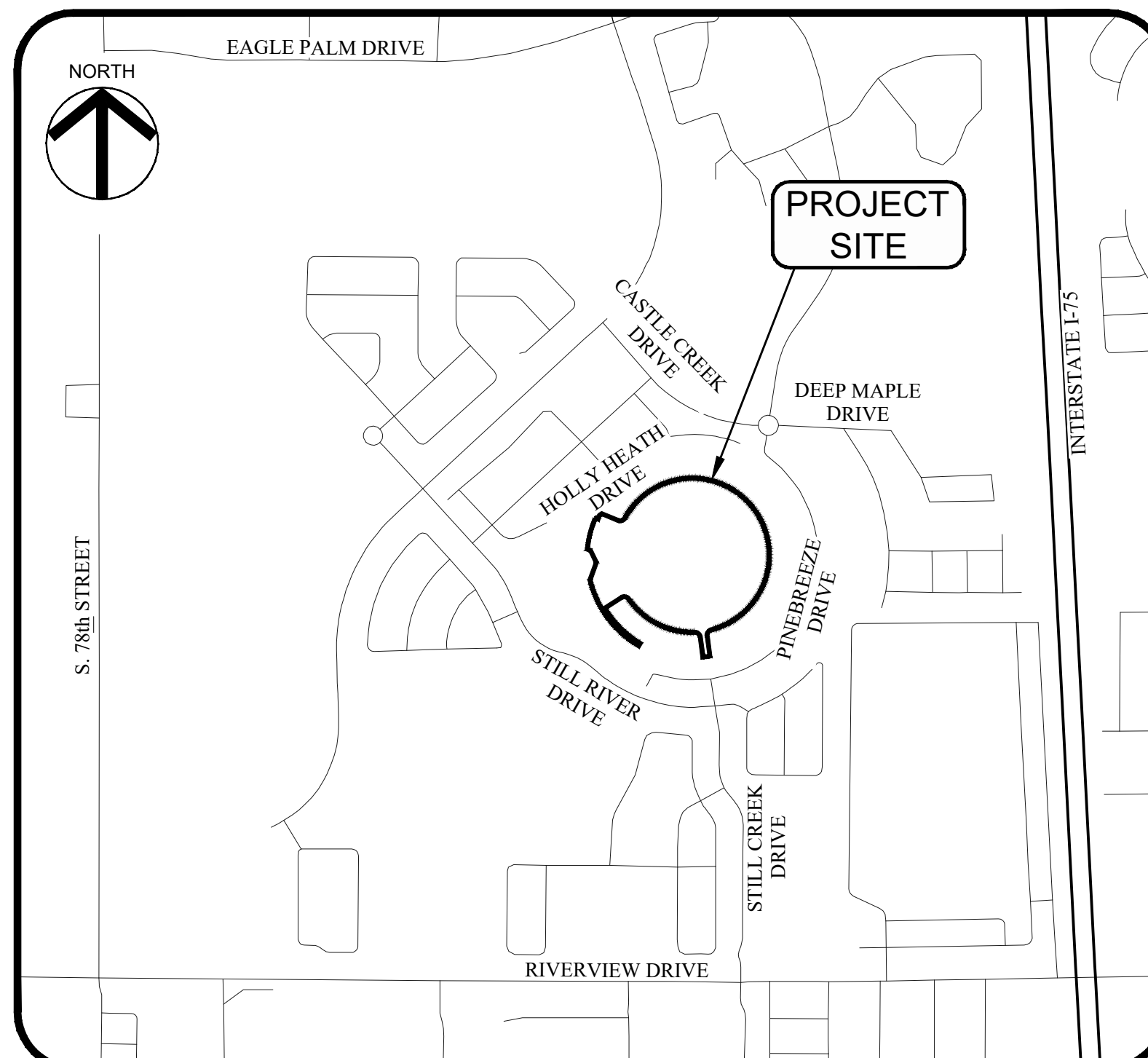
SITE ELEVATION NOTE

1. BENCH MARK: TO BE CONSISTENT WITH ELEVATIONS IN ALL PREVIOUS PHASES, ALL TOPO INFORMATION IS BASED ON NGVD 29 DATUM

SHEET INDEX	
01	COVER SHEET
02	INVASIVE SPECIES REMOVAL PLAN
03	TREE PRESERVATION & TREE REMOVAL PLAN
04	TREE PRESERVATION & TREE REMOVAL PLAN
05	LANDSCAPE PLAN
06	SCHEMATIC IRRIGATION PLAN
07	LANDSCAPE DETAILS
08	LANDSCAPE DETAILS
09	GENERAL NOTES SPECIFICATIONS & SCHEDULE

△

PROPERTY DESCRIPTION

[illegible]

PROJECT SITE MAP

SCALE: 1" = 1000'

DEVELOPED BY

TAYLOR MORRISON OF FLORIDA, INC

3922 COCONUT PALM DRIVE, SUITE 108

TAMPA, FLORIDA 33619

PHONE: (813) 448-5024 FAX: (813) 371-7998

OAK CREEK PARCEL 10

CLIENT: TAYLOR MORRISON OF FLORIDA, INC.

COVER SHEET

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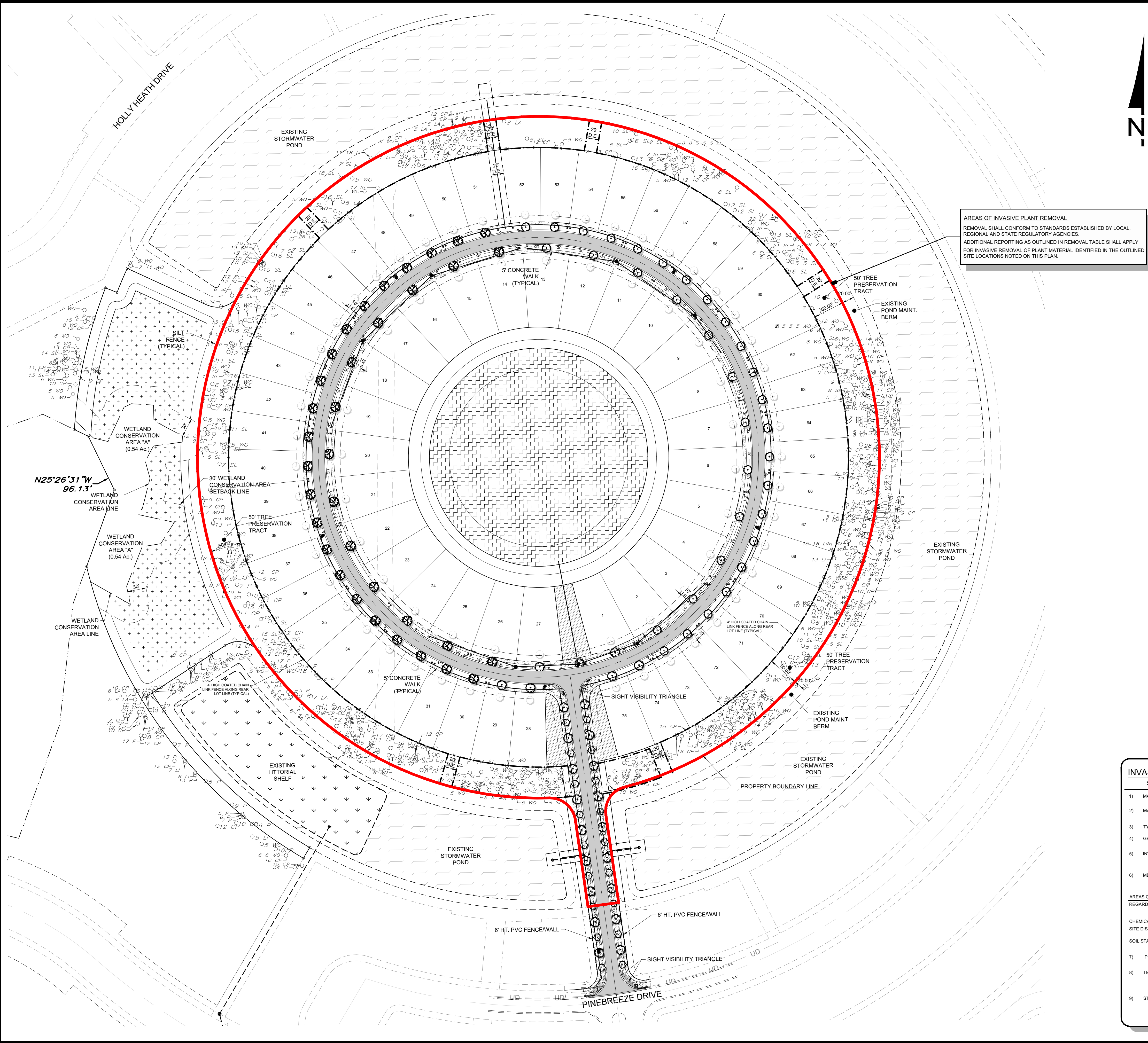
FLORIDA CERTIFICATE OF AUTHORIZATION #LC26000385

RYAN R. BINKOWSKI, P.L.A.
FL. LICENSE NO. 1A6666794

SET NUMBER: 302-27-01

SHEET : 01

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LEGEND

- TREE BARRICADE
- TREE SPECIES (PER SURVEY)
- TREE TO BE REMOVED
- LIMITS OF INVASIVE SPECIES REMOVAL

WETLAND CONSERVATION AREA NOTE:
THE WETLAND CONSERVATION AREA SHALL BE RETAINED IN A NATURAL STATE PURSUANT TO THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE (LDC) AS AMENDED. THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION ACT, CHAPTER 84.446, AND CHAPTER 1-11, RULES OF THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION COMMISSION. IN ADDITION, A 30-FOOT SETBACK FROM THE WETLAND CONSERVATION AREA IS REQUIRED AND SHALL CONFORM TO THE PROVISIONS STIPULATED WITHIN THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE.

TREE & OTHER VEGETATION - DESIGN STANDARDS NOTES:
LDC Sec. 4.01.06.A
1. THE TREE REPLACEMENT INCHES ARE CALCULATED FOR TREES THAT DO NOT FALL WITHIN BUILDING ENVELOPE, AND IMMEDIATE ADJACENCY PER SECTION 4.01.06.A.2 (AS NOTED BELOW).
2. TREES THAT WERE NOTED AS 24" OR LARGER THAT WERE REMOVED AND NOT GRAND OAKS ARE INDICATED AS BEING REPLACED 50% OF TOTAL INCHES REMOVED PER SECTION 4.01.06.A.7. (AS NOTED BELOW).
3. GRAND OAKS ON THIS PROPERTY TO NOT EXCEED THE 48" THRESHOLD FOR REPLACEMENT BEYOND 1:1 AS PER SECTION 4.01.06.A.2 & 4.01.05.A.7.
LDC Sec. 4.01.06.A.2 & 4.01.05.A.7
2. THE DEVELOPER SHALL PRESERVE ALL TREES HAVING A DBH OF FIVE INCHES OR GREATER AND NATIVE VEGETATION AS DESCRIBED BELOW. THIS PROVISION SHALL APPLY EXCEPT IN CASES WHERE REMOVAL IS NECESSARY TO ALLOW ACCESS TO AND IMMEDIATELY AROUND PROPOSED STRUCTURES OR OTHER IMPROVEMENTS TO ALLOW DEVELOPMENT OF RECREATIONAL OPEN SPACE REQUIRING CLEARED AREAS, TO REMOVE UNHEALTHY OR DAMAGED VEGETATION, TO INSTALL A UTILITY OR SOLAR ENERGY EQUIPMENT THAT COULD NOT OTHERWISE BE INSTALLED OR TO COMPLY WITH OTHER REGULATIONS OF HILLSBOROUGH COUNTY.
7. THE DEVELOPER SHALL BE REQUIRED TO REPLACE 50 PERCENT OF THE TOTAL DBH OF ANY TREE HAVING A DBH OF 24 INCHES OR GREATER OR ANY CLUMP OF TREES, AS DEFINED IN THIS CODE, THAT IS TO BE REMOVED FROM THE SITE. IRREPARABLY UNHEALTHY OR DAMAGED TREES, AS DETERMINED BY THE ADMINISTRATOR, SHALL NOT REQUIRE REPLACEMENT. IF THE TREE REMOVED IS A SPECIES WHICH EITHER HAS UNDESIRABLE GROWTH HABITS OR IS SUSCEPTIBLE TO FREEZE DAMAGE, AS DETERMINED BY THE ADMINISTRATOR, REPLACEMENT SHALL NOT BE REQUIRED. A GRAND OAK, HOWEVER, SHALL BE REPLACED AS INDICATED BELOW IF AUTHORIZED FOR REMOVAL BY THE ADMINISTRATOR.

TREE NOTES:
PRUNING OF A GRAND OAK, WITH THE EXCEPTION OF MINOR PRUNING, IS PROHIBITED UNLESS CONDUCTED IN ACCORDANCE WITH THE ANSI-A-300 PRUNING STANDARDS, AND PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) OR A REGISTERED CONSULTING ARBORIST WITH THE AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA). MINOR PRUNING IS THE PRUNING OF A TREE BY THE REMOVAL OF BRANCHES NO GREATER THAN THREE INCHES IN DIAMETER AT THE POINT OF CONNECTION TO A SUPPORTING BRANCH AND SHALL BE IN ACCORDANCE WITH THE ANSI-A-300 PRUNING STANDARDS. A NOTARIZED AFFIDAVIT (ATTACHED) AFFIRMING AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST WILL CONDUCT OR PROVIDE ON-SITE SUPERVISION OF THE PRUNING SHALL BE SUBMITTED TO THE COUNTY PRIOR TO THE PRUNING OF A GRAND OAK. AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST CONTRACTED BY A PROPERTY OWNER TO PRUNE A GRAND OAK SHALL ASSUME FULL RESPONSIBILITY FOR ALL PRUNING ACTIVITIES DETERMINED IN NONCOMPLIANCE WITH STANDARDS SPECIFIED WITHIN THE LAND DEVELOPMENT CODE.

INVASIVE REMOVAL NOTES:
A. REMOVAL OF THESE SPECIES FROM DEVELOPABLE UPLANDS, AND ALL BUFFERS AND SETBACK AREAS LANDWARD OF REQUIRED EROSION CONTROL DEVICES, IF ANY THROUGH HAND, MECHANICAL, AND/OR CHEMICAL MEANS, FROM A SITE DEVELOPMENT OR SUBDIVISION PROJECT SHALL BE COMPLETED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE OF IMPROVEMENT FACILITIES, RESPECTIVELY, AS SPECIFIED IN THE NATURAL RESOURCES PERMIT. REMOVAL SHALL ONLY BE REQUIRED FOR THE PORTION OF THE PROJECT DESCRIBED IN THE NATURAL RESOURCES PERMIT. HOWEVER, REMOVAL IS NOT REQUIRED ON A SUBDIVISION LOT(S) WHEN THE LOT(S) WILL NOT BE ALTERED, WITH THE EXCEPTION OF UTILITIES INSTALLATION, DURING THE CONSTRUCTION OF IMPROVEMENT FACILITIES. REMOVAL SHALL OCCUR AT THE TIME OF BUILDING CONSTRUCTION.
B. WHEN CONSERVATION OR PRESERVATION AREAS EXIST WITHIN THE PROJECT BOUNDARIES AND CONTAIN A SIGNIFICANT AMOUNT OF THE ABOVE LISTED INVASIVE PLANT SPECIES, AS DETERMINED BY THE COUNTY AND THE EPC, THE COUNTY ADMINISTRATOR SHALL ALLOW THE DEVELOPER TO REDUCE THE REQUIRED CONSERVATION/PRESERVATION AREA SETBACK UP TO 50 PERCENT, OR REDUCE THE TREE REPLACEMENT REQUIREMENT AS DEFINED IN 4.01.06.A SIX UP TO 50 PERCENT, PROVIDED THE DEVELOPER REMOVES THE INVASIVE PLANT SPECIES FROM THE CONSERVATION/PRESERVATION AREA. POOLS, AS SPECIFICALLY APPROVED, MAY BE CONSTRUCTED UP TO FIVE FEET FROM A CONSERVATION AREA AND UP TO 15 FEET FROM A PRESERVATION AREA.
C. AS DETERMINED BY THE ADMINISTRATOR, THROUGH CONSULTATION WITH THE APPROPRIATE REGULATORY AGENCIES, REMOVAL MAY NOT BE REQUIRED IF SUCH REMOVAL PROCEDURES WOULD CAUSE ADVERSE IMPACTS TO THE ENVIRONMENT. ADVERSE IMPACTS MAY INCLUDE DISTURBANCE OF LISTED PLANT OR ANIMAL SPECIES, DEGRADATION OF ANY NATURAL PLANT COMMUNITIES OR PROMOTION OF SOIL EROSION BY WIND OR WATER.

INVASIVE PLANT REMOVAL, DISPOSAL, AND MAINTENANCE NOTES:	
SUBMITTAL REQUIREMENTS	REMOVAL METHODS/REQUIREMENT
1) MAINTENANCE ENTITY:	TAYLOR MORRISON OF FLORIDA, INC.
2) MAINTENANCE RESPONSIBILITY INSTRUMENT:	MAINTENANCE INSTRUMENT SHALL BE IN THE FORM OF DECLARATION OF PROTECTIVE COVENANTS DOCUMENTS FOR A 5 YEAR PERIOD AS REQUIRED.
3) TYPES OF INVASIVE PLANTS:	BRAZILIAN PEPPER (SEE PLAN FOR REMOVAL AREAS)
4) GENERAL LOCATION OF INVASIVE PLANTS:	SEE PLANS (THIS SHEET)
5) INVASIVE PLANT REMOVAL REGULATORY PERMITS:	INVASIVE REMOVAL OF PLANT MATERIAL SHALL BE HAND CLEARED WITH APPROPRIATE REMOVAL PERMITS APPROVED BY ENTITY IN AREAS UNDER REGULATORY JURISDICTION BOTH LOCAL AND STATE.
6) METHODS OF PROPOSED REMOVAL (CHEMICAL AND/OR MECHANICAL):	INVASIVE PLANTS SHALL BE REMOVED BY BOTH MECHANICAL AND CHEMICAL MEANS FOR INITIAL REMOVAL AND MAINTENANCE DURING 5 YEAR PERIOD AS NEEDED.
AREAS OF CONCERN: REGARDING TIME OF YEAR	TIME OF YEAR REMOVAL SHALL BE MECHANICAL BY HAND WITH CHEMICAL APPLICATION UTILIZED AS DIRECTED BY CERTIFIED TECHNICIAN.
CHEMICAL APPLICATIONS	ONLY APPLIED BY CERTIFIED TECHNICIAN
SITE DISTURBANCE	MECHANICAL HAND CLEARING IN SENSITIVE AREAS WITH APPROPRIATE REMOVAL PERMITS
SOIL STABILIZATION	AS NECESSARY UTILIZING SILT FENCING AND SOODING, AS WELL AS NECESSARY CONSTRUCTION TECHNIQUES TO MAINTAIN SOIL STABILIZATION.
7) PROPOSED MEANS OF DISPOSAL:	EXOTICS SHALL BE REMOVED TO APPROPRIATE SITE FOR VEGETATIVE MULCHING OR ERADICATION WITHIN COUNTY DESIGNATED FACILITIES.
8) TECHNIQUES FOR CONTINUED ERADICATION OF INVASIVE SPECIES:	DURING THE FIVE YEAR PERIOD, QUARTERLY REMOVAL AND ANNUAL CHECKUP OF INVASIVE AREAS SHALL BE PERFORMED BY THE ASSIGNED LANDSCAPE MAINTENANCE COMPANY FOR THE CONTINUED REMOVAL AND ERADICATION OF INVASIVE SPECIES.
9) STATEMENT OF UNDERSTANDING FOR CONFORMANCE TO MONITORING REPORT:	REPORTS ARE REQUIRED FOR SUBMITTAL WITHIN 6 AND 12 MONTHS DURING FIRST TWO YEARS OF REMOVAL PROCESS AND ONE TIME ANNUALLY FOR YEARS THREE THROUGH FIVE, AS OUTLINED IN HILLSBOROUGH COUNTY INVASIVE REMOVAL, DISPOSAL, AND MAINTENANCE PLAN REQUIREMENTS.

WALDROP ENGINEERING

CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTANTS

9432 CAMDEN FIELD PARKWAY RIVERVIEW, FL 33575
P: 813-443-9282 E: 813-443-9285 EMAIL: info@waldropengineering.com

CODE MINIMUM LANDSCAPE PLANS

OAK CREEK PARCEL 10

CLIENT: TAYLOR MORRISON OF FLORIDA, INC.

INVASIVE SPECIES REMOVAL PLAN

PLAN REVISIONS	REV/2 <SUBMITTED> 01/14/2019
1	01/10/2019 REVISED PER COUNTY COMMENTS
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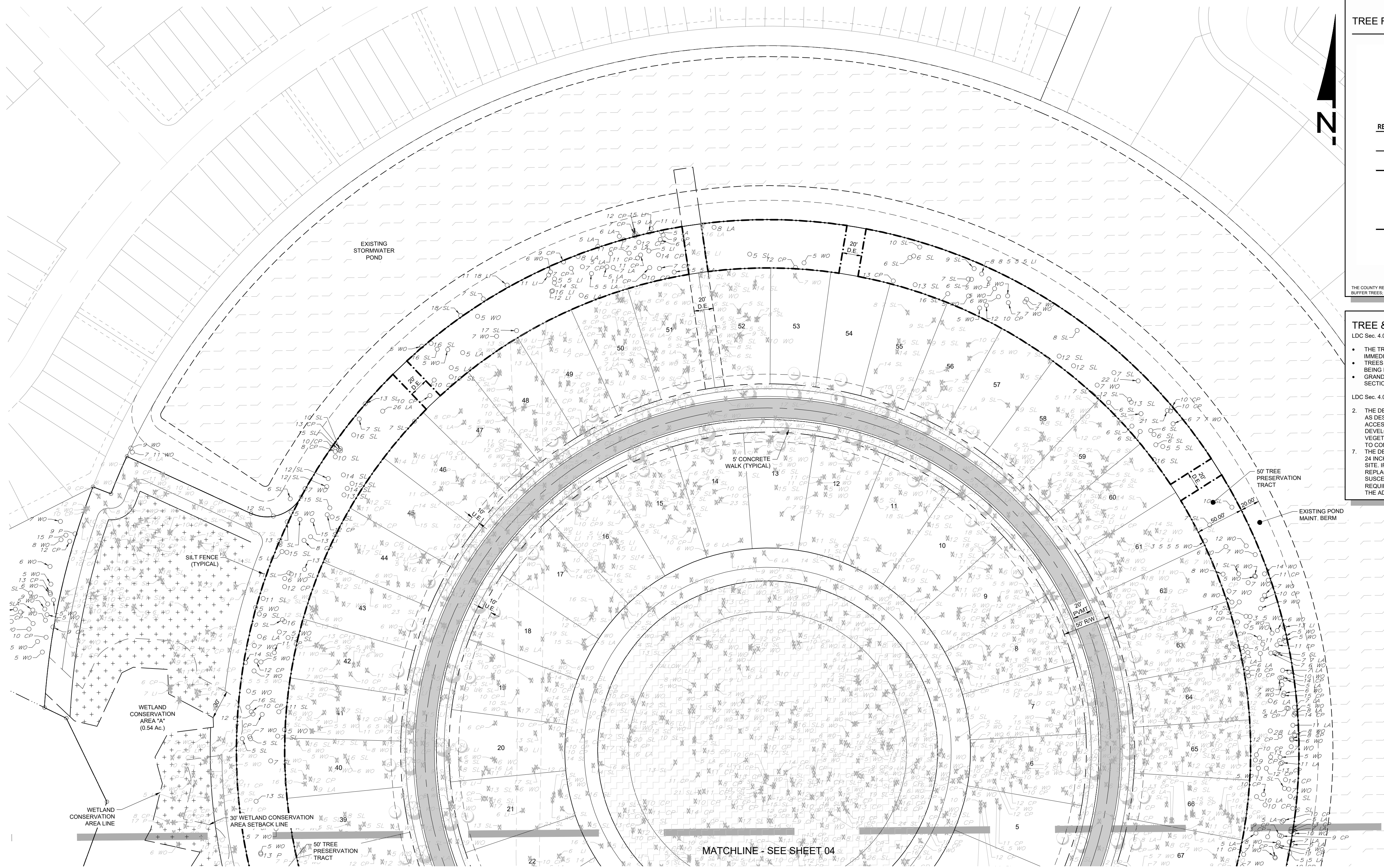
SCALE IN FEET

FLORIDA CERTIFICATE OF AUTHORIZATION #LC3000035

RYAN R. BINKOWSKI, P.L.A.
FL LICENSE NO. LA666474

SET NUMBER: 302-27-01

SHEET : 02



LEGEND

TREE BARRICADE

TREE SPECIES (PER SURVEY)

TREE TO BE REMOVED

TREE REPLACEMENT REQUIREMENTS

A TOTAL OF 414" D.B.H. INCHES OF EXISTING TREES ARE BEING REMOVED FROM THE SITE BASED ON INITIAL SITE CONDITIONS & CIVIL DESIGN. D.B.H. = 414"	
50% TOTAL D.B.H. REPLACEMENT INCHES = 207"	
TOTAL REPLACEMENT INCHES REQUIRED = 207"	
REQUIRED TREES TO BE INCREASED FROM 1" DBH TO 2" DBH	
STREET (SHADE) TREES: (Live Oak/Magnolia)	
94	AS REPLACEMENT TREES 2" D.B.H. = 94 x 1" D.B.H. = 94"
LOT SHADE TREES:	
75	AS REPLACEMENT TREES 2" D.B.H. = 75 x 1" D.B.H. = 75"
TOTAL D.B.H. = 169"	
TOTAL REPLACEMENT INCHES ON-SITE D.B.H. = 169"	
TOTAL ON SITE INCHES DETERMINED FOR REPLACEMENT D.B.H. = 207"	
TOTAL ADDITIONAL INCHES BELOW REQUIREMENT = 38"	

THE COUNTY REVIEWER AND PROJECT ARBORIST SHALL PROVIDE AGREED UPON "GR" TREE REPLACEMENTS. THE FINAL REPLACEMENT CALCULATIONS WILL INCLUDE: BUFFER TREES, STREET TREES, AND OPEN AREA REPLACEMENTS.

TREE & OTHER VEGETATION ~ DESIGN STANDARDS NOTES:

- LDC Sec. 4.01.06.A
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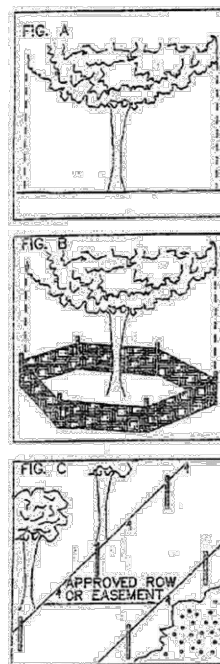
WETLAND CONSERVATION AREA NOTE:

THE WETLAND CONSERVATION AREA SHALL BE RETAINED IN A NATURAL STATE PURSUANT TO THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE (LDC) AS AMENDED. THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION ACT, CHAPTER 84-446, AND CHAPTER 1-11, RULES OF THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION COMMISSION. IN ADDITION, A 30 FOOT SETBACK FROM THE WETLAND CONSERVATION AREA IS REQUIRED AND SHALL CONFORM TO THE PROVISIONS STIPULATED WITHIN THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE.

PROTECTIVE BARRIER REQUIREMENTS
AND
SPECIFICATIONS FOR EXISTING TREES TO REMAIN

PROTECTIVE BARRIERS are used during land alteration and construction activities to protect trees and natural areas to be retained on a site.

PROTECTIVE BARRIERS must be erected around TREES to be retained within an area where land alteration and construction activities will occur as well as along NATURAL AREAS where such areas are adjacent to permitted land alteration or construction activities. A PROTECTIVE BARRIER must remain in place until the land alteration and construction activities are completed or until commencement of grade-fixing and soil holding. No ground disturbance must occur within the barricaded area. The following represents the County's minimum protective barrier specifications:



- TREES - To restrict access into the area within the CANOPY DRIPLINE of a tree, a physical structure not less than 3 feet in height, comprised of wood or other suitable material, 1 1/2" x 4" lumber, or upright stakes spaced at 5' intervals of no less than 2" x 2" lumber connected by six (6) ropes, fabric, or material of comparable durability. Fig. B.
- NATURAL AREAS - To restrict access into areas where land alteration and construction activities are not authorized a physical structure not less than 3 feet in height to be placed along the perimeter of such areas.

WHY A BARRIER

- To protect all above ground portions of trees and other significant vegetation from mechanical damage.
- To protect root systems from compaction.
- To provide awareness of protected areas to equipment operators.

WALDROP
ENGINEERING

9432 CAMDEN FIELD PARKWAY RIVERVIEW, FL 33575
P: 813-443-9252 F: 813-443-9255 EMAIL: info@waldropengineering.com

CODE MINIMUM LANDSCAPE PLANS
OAK CREEK PARCEL 10
CLIENT: TAYLOR MORRISON OF FLORIDA, INC.
TREE PRESERVATION & TREE REMOVAL PLAN

PLAN REVISIONS

NO.	DATE	REVISION
1	01/14/2019	REVISED PER COUNTY COMMENTS

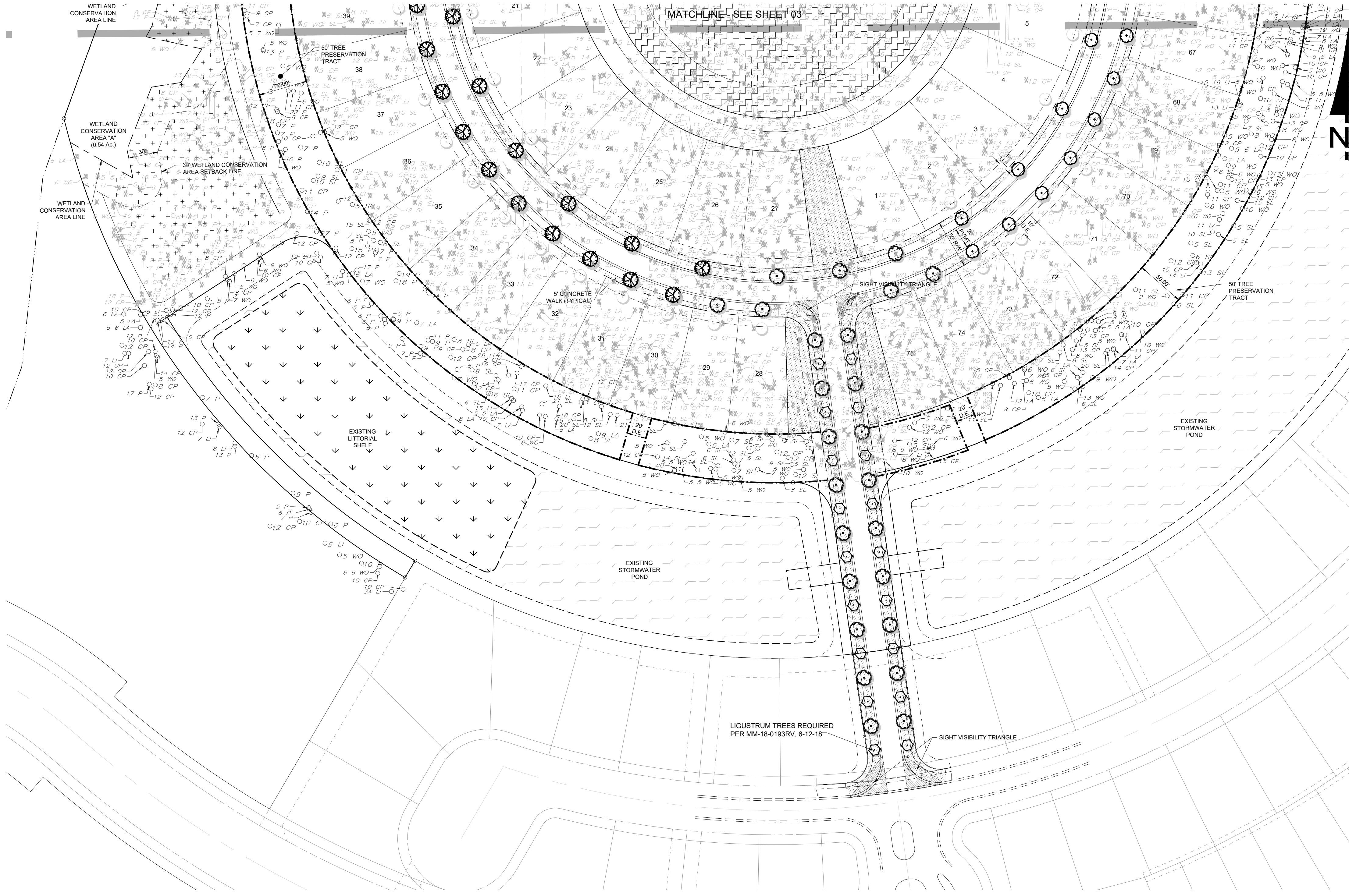
FLORIDA CERTIFICATE OF AUTHORIZATION PLC26000305

RYAN R. BINKOWSKI, P.L.A.
FL. LICENSE NO. LA666704

SET NUMBER: 302-27-01

SHEET: 03

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LEGEND	
	TREE BARRICADE
	TREE SPECIES (PER SURVEY)
	TREE TO BE REMOVED

TREE REPLACEMENT REQUIREMENTS

A TOTAL OF 414" D.B.H. INCHES OF EXISTING TREES ARE BEING REMOVED FROM THE SITE BASED ON INITIAL SITE CONDITIONS & CIVIL DESIGN. D.B.H. = 414"

50% TOTAL D.B.H. REPLACEMENT INCHES = 207"
TOTAL REPLACEMENT INCHES REQUIRED = 207"

REQUIRED TREES TO BE INCREASED FROM 1" DBH TO 2" DBH

STREET (SHADE) TREES: (Live Oak/Magnolia)
94 AS REPLACEMENT TREES 2" D.B.H. = 94 x 1" D.B.H. = 94" D.B.H. = 94"
LOT SHADE TREES:
75 AS REPLACEMENT TREES 2" D.B.H. = 75 x 1" D.B.H. = 75" D.B.H. = 75"

TOTAL D.B.H. = 169"

TOTAL REPLACEMENT INCHES ON-SITE D.B.H. = 169"

TOTAL ON-SITE INCHES DETERMINED FOR REPLACEMENT D.B.H. = 207"

TOTAL ADDITIONAL INCHES BELOW REQUIREMENT = 38"

THE COUNTY REVIEWER AND PROJECT ARBORIST SHALL PROVIDE AGREED UPON "SBH" TREE REPLACEMENTS. THE FINAL REPLACEMENT CALCULATIONS WILL INCLUDE BUFFER TREES, STREET TREES, AND OPEN AREA REPLACEMENTS.

TREE & OTHER VEGETATION ~ DESIGN STANDARDS NOTES:

- LDC Sec. 4.01.06.A
- THE TREE REPLACEMENT INCHES ARE CALCULATED FOR TREES THAT DO NOT FALL WITHIN BUILDING ENVELOPE, AND IMMEDIATE ADJACENCY PROTECTION BELOW 14' (AS NOTED BELOW)
 - TREES THAT WERE NOTED AS 24" OR LARGER THAT WERE REMOVED AND NOT GRAND OAKS ARE INDICATED AS BEING REPLACED 50% OF TOTAL INCHES REMOVED PER SECTION 4.01.06.A.7. (AS NOTED BELOW)
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 - THE DEVELOPER SHALL BE REQUIRED TO REPLACE 50 PERCENT OF THE TOTAL DBH OF ANY TREE HAVING A DBH OF 24 INCHES OR GREATER OR ANY CLUMP OF TREES, AS DEFINED IN THIS CODE, THAT IS TO BE REMOVED FROM THE SITE, IRREPARABLY UNHEALTHY OR DAMAGED TREES, AS DETERMINED BY THE ADMINISTRATOR, SHALL NOT REQUIRE REPLACEMENT. IF THE TREE REMOVED IS A SPECIES WHICH EITHER HAS UNDESIRABLE GROWTH HABITS OR IS SUSCEPTIBLE TO FREEZE DAMAGE, AS DETERMINED BY THE ADMINISTRATOR, REPLACEMENT SHALL NOT BE REQUIRED. A GRAND OAK, HOWEVER, SHALL BE REPLACED AS INDICATED BELOW IF AUTHORIZED FOR REMOVAL BY THE ADMINISTRATOR.

TREE NOTES:

PRUNING OF A GRAND OAK, WITH THE EXCEPTION OF MINOR PRUNING, IS PROHIBITED UNLESS CONDUCTED IN ACCORDANCE WITH THE ANSI-A-300 PRUNING STANDARDS, AND PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) OR A REGISTERED CONSULTING ARBORIST WITH THE AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA). MINOR PRUNING IS THE PRUNING OF A TREE BY THE REMOVAL OF BRANCHES NO GREATER THAN THREE INCHES IN DIAMETER AT THE POINT OF CONNECTION TO A SUPPORTING BRANCH AND SHALL BE IN ACCORDANCE WITH THE ANSI-A-300 PRUNING STANDARDS. A NOTARIZED AFFIDAVIT (ATTACHED) AFFIRMING AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST WILL CONDUCT OR PROVIDE ON-SITE SUPERVISION OF THE PRUNING SHALL BE SUBMITTED TO THE COUNTY PRIOR TO THE PRUNING OF A GRAND OAK. AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST CONTRACTED BY A PROPERTY OWNER TO PRUNE A GRAND OAK SHALL ASSUME FULL RESPONSIBILITY FOR ALL PRUNING ACTIVITIES DETERMINED IN NONCOMPLIANCE WITH STANDARDS SPECIFIED WITHIN THE LAND DEVELOPMENT CODE.

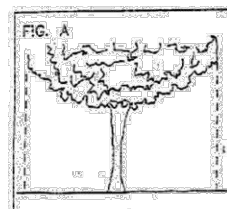
WETLAND CONSERVATION AREA NOTE:

THE WETLAND CONSERVATION AREA SHALL BE RETAINED IN A NATURAL STATE PURSUANT TO THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE (LDC) AS AMENDED. THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION ACT, CHAPTER 84-446, AND CHAPTER 1-11, RULES OF THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION COMMISSION. IN ADDITION, A 30 FOOT SETBACK FROM THE WETLAND CONSERVATION AREA IS REQUIRED AND SHALL CONFORM TO THE PROVISIONS STIPULATED WITHIN THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE.

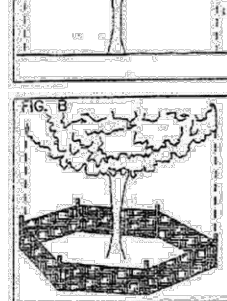
PROTECTIVE BARRIER REQUIREMENTS AND SPECIFICATIONS FOR EXISTING TREES TO REMAIN

PROTECTIVE BARRIERS are used during land alteration and construction activities to protect trees and natural areas to be retained on a site.

PROTECTIVE BARRIERS must be erected around TREES to be retained within an area where land alteration and construction activities will occur as well as along NATURAL AREAS where such areas are adjacent to permitted land alteration or construction activities. A PROTECTIVE BARRIER must remain in place until the land alteration and construction activities are completed or until commencement of grade for final site holding. No ground disturbance must occur within the barricaded area. The following represents the County's minimum protective barrier specifications:



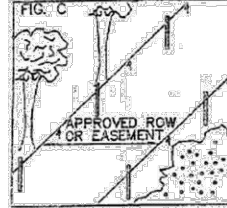
1. TREES - To restrict access into the area within the CANOPY DRIPLINE of a tree, a physical structure not less than 3 feet in height, comprised of wood or other suitable material, is placed around the tree at the CANOPY DRIPLINE, except where land alteration or construction activities are approved within the CANOPY DRIPLINE.



The CANOPY DRIPLINE of a tree is the imaginary, vertical line that extends downward from the outermost tips of the tree's branches to the ground. FIG. A.

BARRIER SPECIFICATIONS FOR TREES:

Four corner upright stakes of no less than 2"x2" lumber connected by horizontal members of no less than 1"x4" lumber, or upright stakes spaced at 5' intervals of no less than 2"x2" lumber connected by self-storing fabric or material of comparable durability. FIG. B.



2. NATURAL AREAS - To restrict access into areas where land alteration and construction activities are not authorized a physical structure not less than 3 feet in height is placed along the perimeter of such areas.

BARRIER SPECIFICATIONS FOR NATURAL AREAS:

Upright stakes of no less than 2"x2" lumber spaced no more than 25' apart and connected by heavy flange with plastic surveying tape at regular intervals of 5-10'. FIG. C. Other methods of demarcation will be considered depending upon the characteristics of the site.

WHY A BARRIER

- To protect all above ground portions of trees and other significant vegetation from mechanical damage.
- To protect root systems from compaction.
- To provide awareness of protected areas to equipment operators.

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CIVIL ENGINEERING &
LAND DEVELOPMENT CONSULTANTS

9432 CAMDEN FIELD PARKWAY RIVERVIEW, FL 33579
P: 813-443-9252 F: 813-443-9255 EMAIL: info@waldropengineering.com

CODE MINIMUM LANDSCAPE PLANS

OAK CREEK PARCEL 10

CLIENT: TAYLOR MORRISON OF FLORIDA, INC.

TREE PRESERVATION & TREE REMOVAL PLAN

PLAN REVISIONS	REVISED PER COUNTY COMMENTS
1	01/10/2019
2	01/10/2019
3	01/10/2019
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5	01/10/2019
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99	01/10/2019
100	01/10/2019

FLORIDA CERTIFICATE OF AUTHORIZATION #LC2600635

RYAN R. BINKOWSKI, P.L.A.

FL. LICENSE NO. LA666704

SET NUMBER:

SHEET:

302-27-01

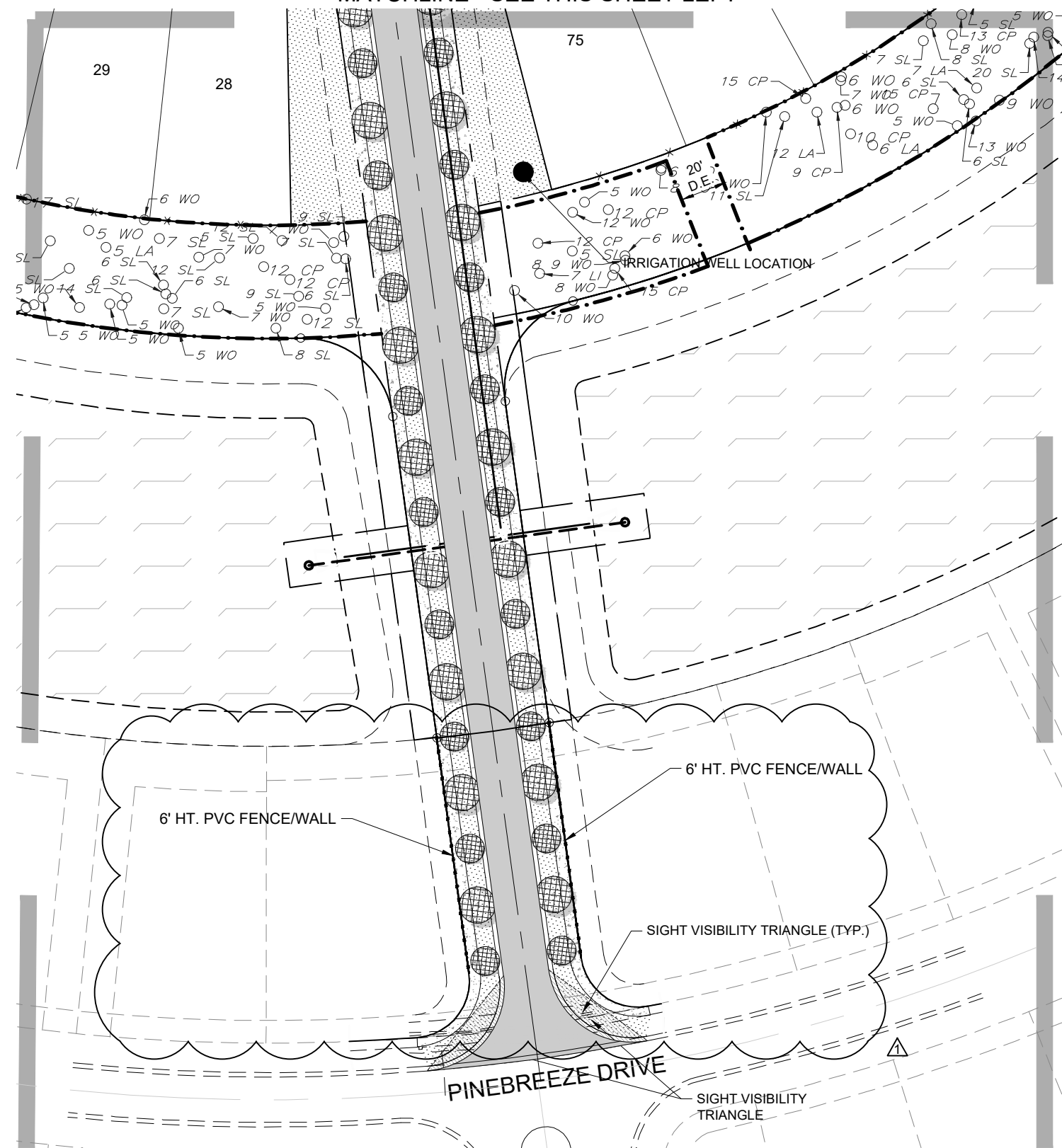
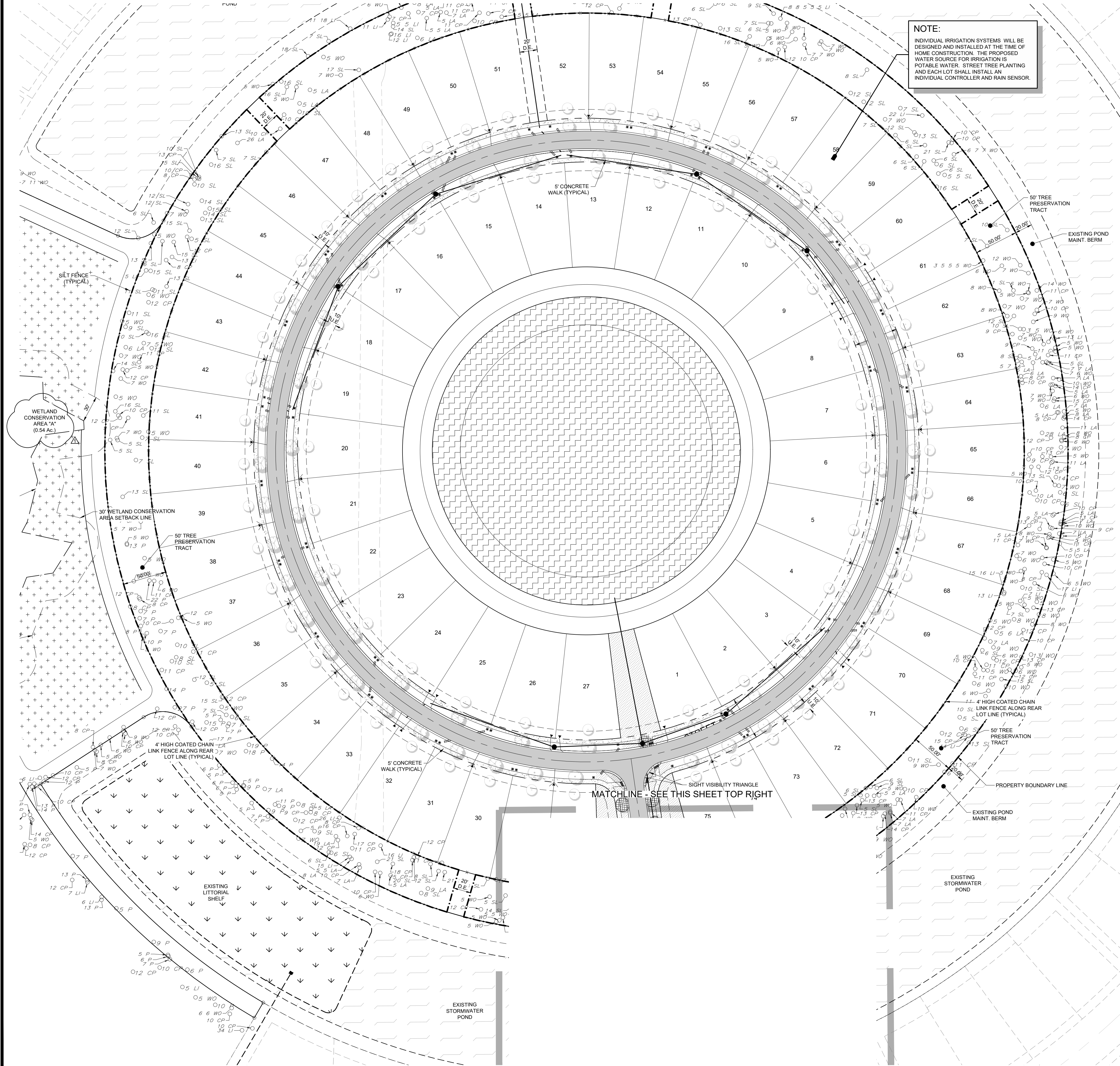
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9432 CAMDEN FIELD PARKWAY RIVERVIEW, FL 33578
P: 813-443-8282 F: 813-443-8285 EMAIL: info@waldropengineering.com

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SANITARY UTILITY EASEMENT NOTE:
NO TREES ARE TO BE PLANTED WITHIN THE 30-FOOT SANITARY SEWER UTILITY EASEMENT, AND NO TREES ARE TO BE PLANTED WITHIN 15 FEET OF A SANITARY SEWER LATERAL LINE.

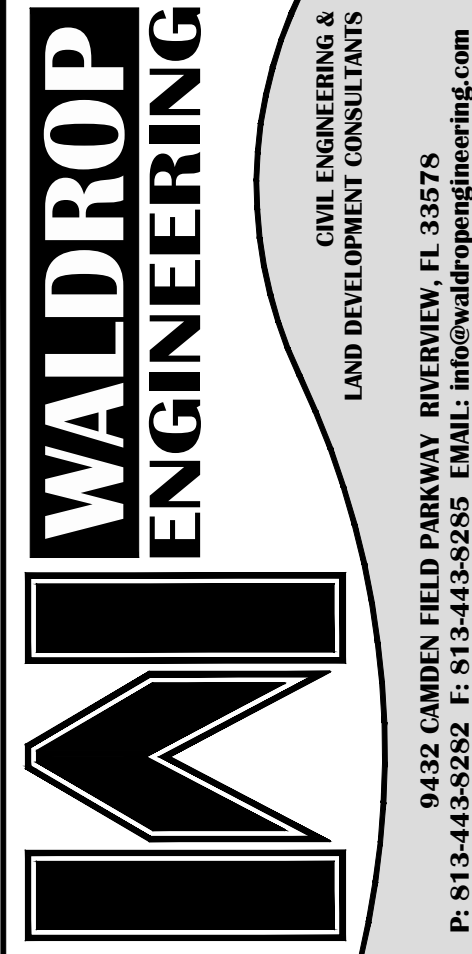
UTILITY APPURTENANCE NOTE:
THE CONSTRUCTION OF ALL ABOVE GROUND UTILITY APPURTENANCES VISIBLE FROM PUBLIC RIGHT-OF-WAY SUCH AS PEDESTALS, UTILITY METERS, TRANSFORMERS, BACK-FLOW PREVENTION DEVICES, ETC. FOR NEW DEVELOPMENT OR REDEVELOPMENT ACTIVITIES SHALL CONFORM TO SCREENING REQUIREMENTS AS OUTLINED IN SECTION 6.06.06 C.10 OF THE LAND DEVELOPMENT CODE. PLANT LOCATION MUST BE CONSIDERATE OF REQUIRED SPATIAL SEPARATIONS FROM A FIRE FLOW PROTECTION APPLIANCE IN ACCORDANCE TO THE UNIFORM FIRE CODE. HEDGE MATERIAL TO BE SWEET VIBURNUM INSTALLED AT 36" ON CENTER WITH SCREENING HEIGHT TO MATCH OR EXCEED OVERALL HEIGHT FOR ABOVE GROUND UTILITY APPURTENANCES INSTALLED.

HILLSBOROUGH COUNTY - IRRIGATION NOTE:
1. IRRIGATION ZONES DELINEATED AS MICRO-IRRIGATION OR WITH IRRIGATION TECHNIQUES OTHER THAN MICRO-IRRIGATION.
2. TURF AREAS ARE ON SEPARATE IRRIGATION ZONES FROM OTHER LANDSCAPE PLANT ZONES.
3. IRRIGATION SPRAYS AND ROTORS ARE NOT COMBINED ON THE SAME CONTROL VALVE CIRCUIT.
4. SPRAY AND ROTORS HAVE MATCHING APPLICATION RATES WITHIN EACH IRRIGATION ZONE.
5. IRRIGATION SYSTEM AVOIDS OVER-SPRAY AND RUNOFF ONTO WALKWAYS, ROADWAYS, STRUCTURES OR OTHER NON-LANDSCAPED AREAS.
6. FOUR FEET WIDE OR LESS LANDSCAPE AREAS CONTAIN MICRO-IRRIGATION ONLY.
7. SPRINKLER SPACING DOES NOT EXCEED 55% OF THE SPRINKLER'S DIAMETER OF COVERAGE.
8. IRRIGATION CONTROL EQUIPMENT CONTAINS AN AUTOMATIC IRRIGATION CONTROLLER WITH PROGRAM FLEXIBILITY UNLESS MECHANICAL, THE AUTOMATIC IRRIGATION CONTROLLER CONTAINS A BATTERY BACK UP TO RETAIN IRRIGATION PROGRAMS.
9. EACH LOT TO PROVIDE AN OPERABLE RAIN SENSOR DEVICE EXPOSED TO UNOBSTRUCTED RAINFALL.

WETLAND CONSERVATION AREA NOTE:
THE WETLAND CONSERVATION AREA SHALL BE RETAINED IN A NATURAL STATE PURSUANT TO THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE (LDC) AS AMENDED. THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION ACT, CHAPTER 84-446, AND CHAPTER 1-11, RULES OF THE HILLSBOROUGH COUNTY ENVIRONMENTAL PROTECTION COMMISSION. IN ADDITION, A 30 FOOT SETBACK FROM THE WETLAND CONSERVATION AREA IS REQUIRED AND SHALL CONFORM TO THE PROVISIONS STIPULATED WITHIN THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE.

IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
	DRIP/MICRO IRRIGATION

LEGEND	
	TREE TO REMAIN (PER SURVEY)
	TREE BARRICADE



CODE MINIMUM LANDSCAPE PLANS
OAK CREEK PARCEL 10
CLIENT: TAYLOR MORRISON OF FLORIDA, INC.
SCHEMATIC IRRIGATION PLAN

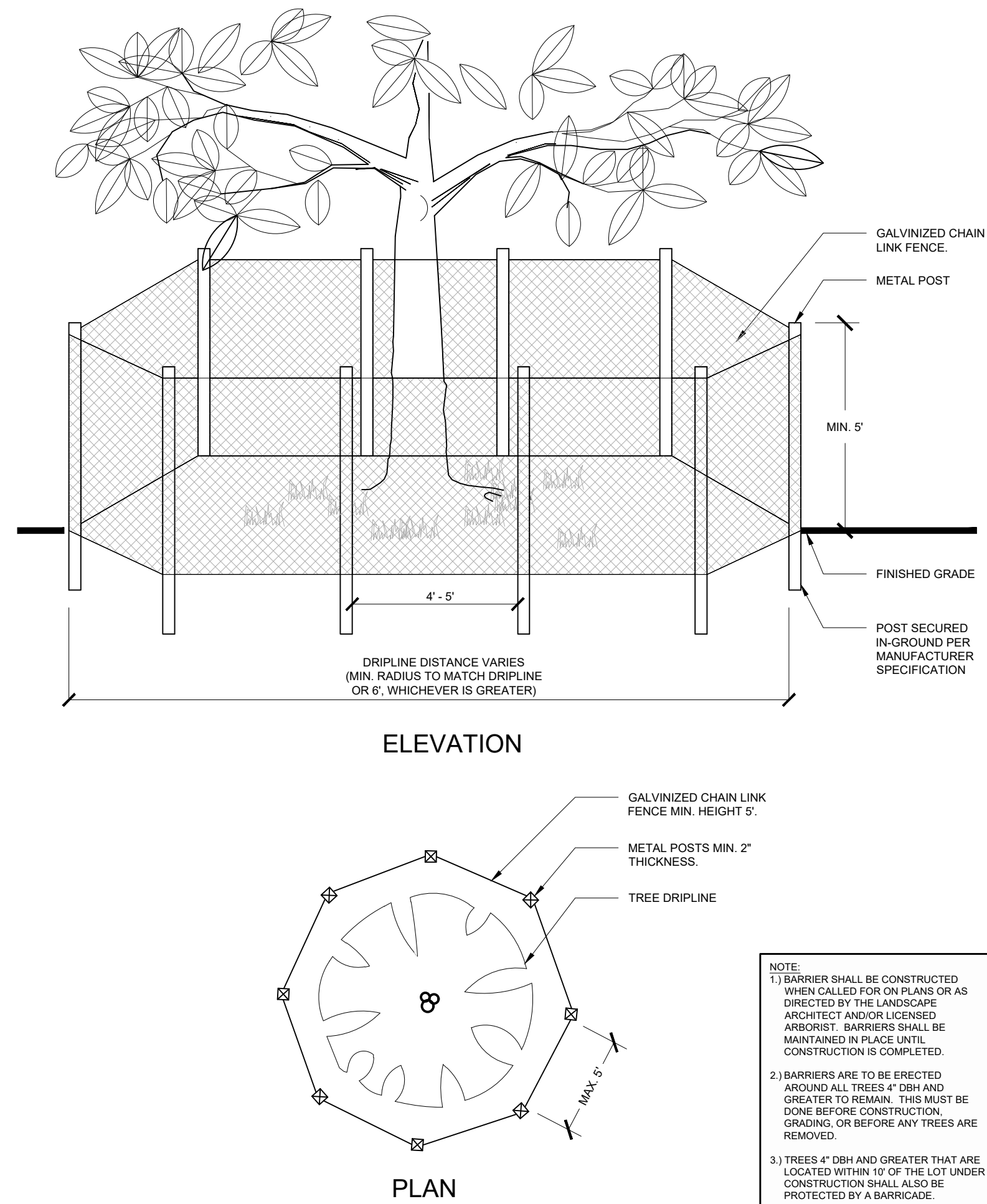
PLAN REVISIONS	
NO.	REVISION
1	REVISED PER COUNTY COMMENTS

FLORIDA CERTIFICATE OF AUTHORIZATION #LC2606035

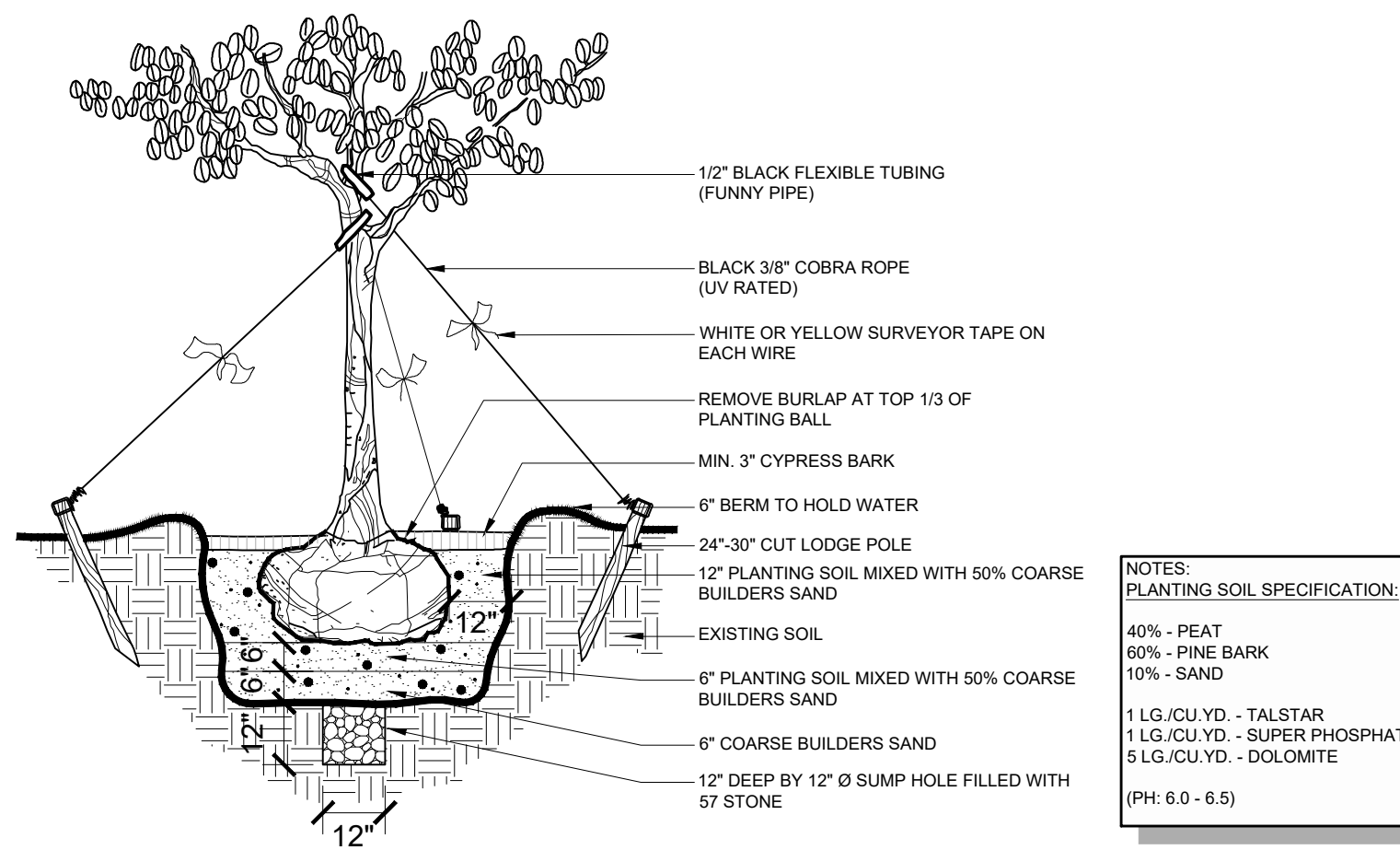
RYAN R. BINKOWSKI, P.L.A.
FL. LICENSE NO. LA0666704
SET NUMBER: 302-27-01
SHEET: 06

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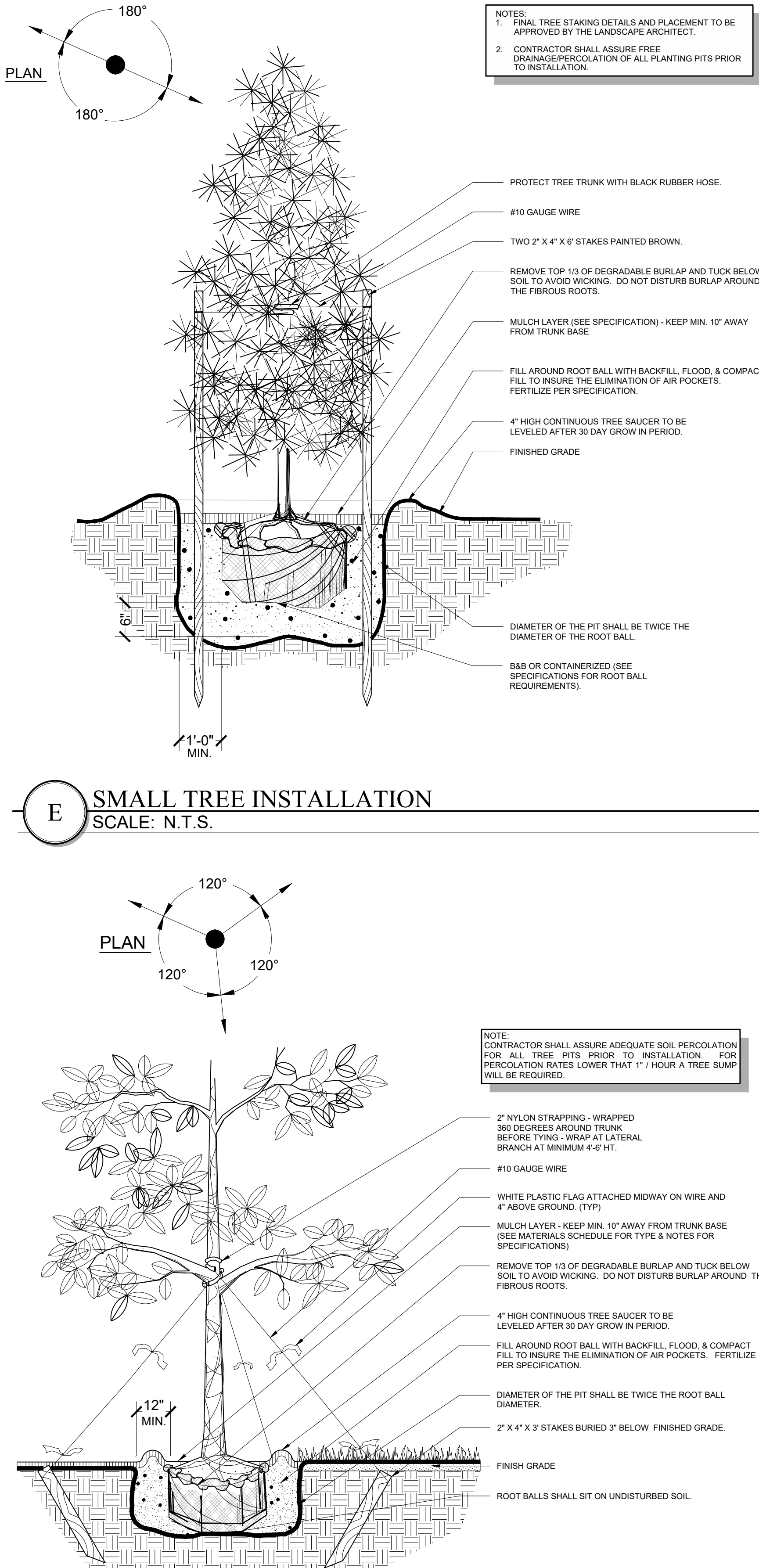
A TREE BARRICADE DETAIL
SCALE: N.T.S.



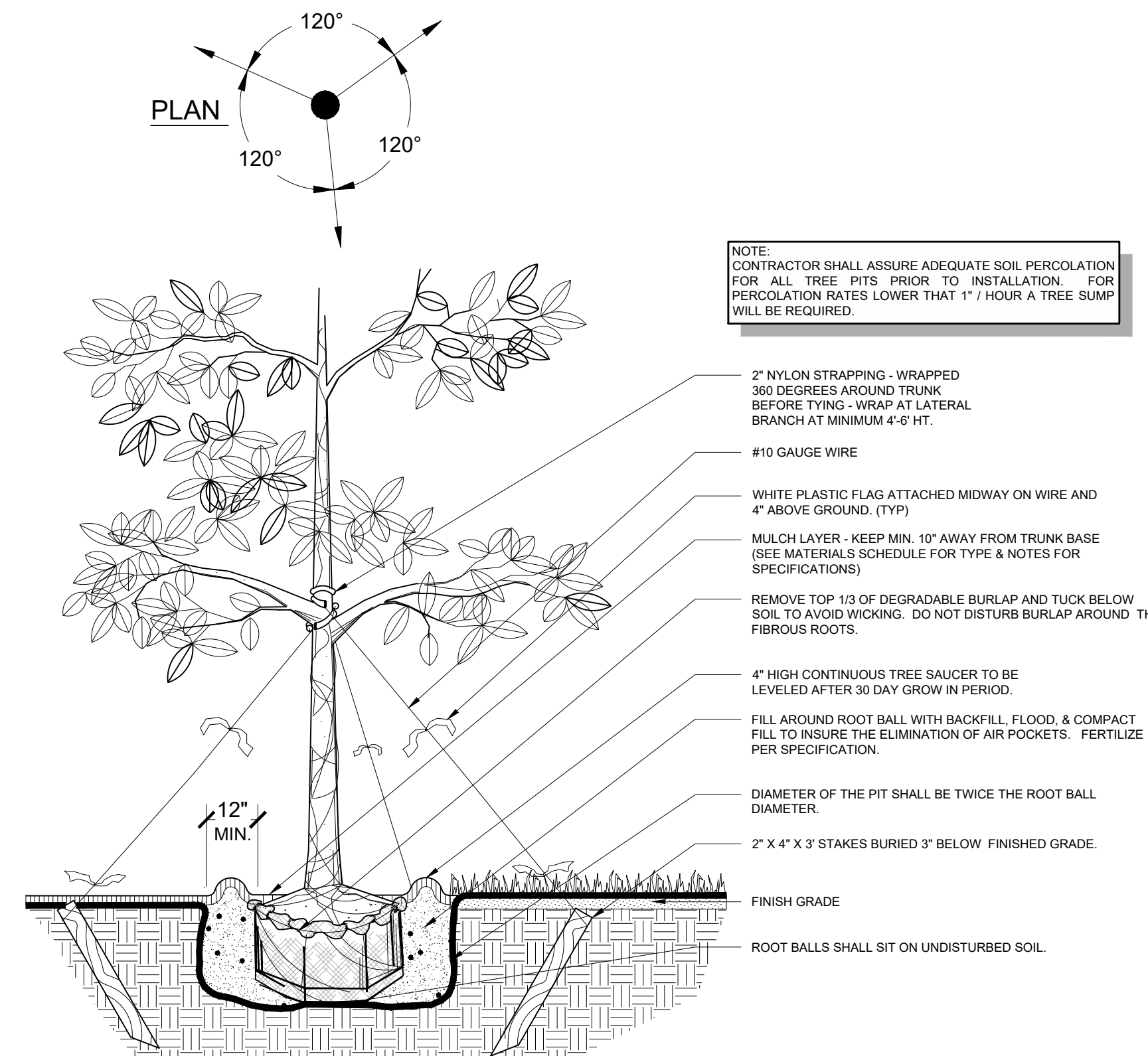
D MAGNOLIA TREE
SCALE: N.T.S.



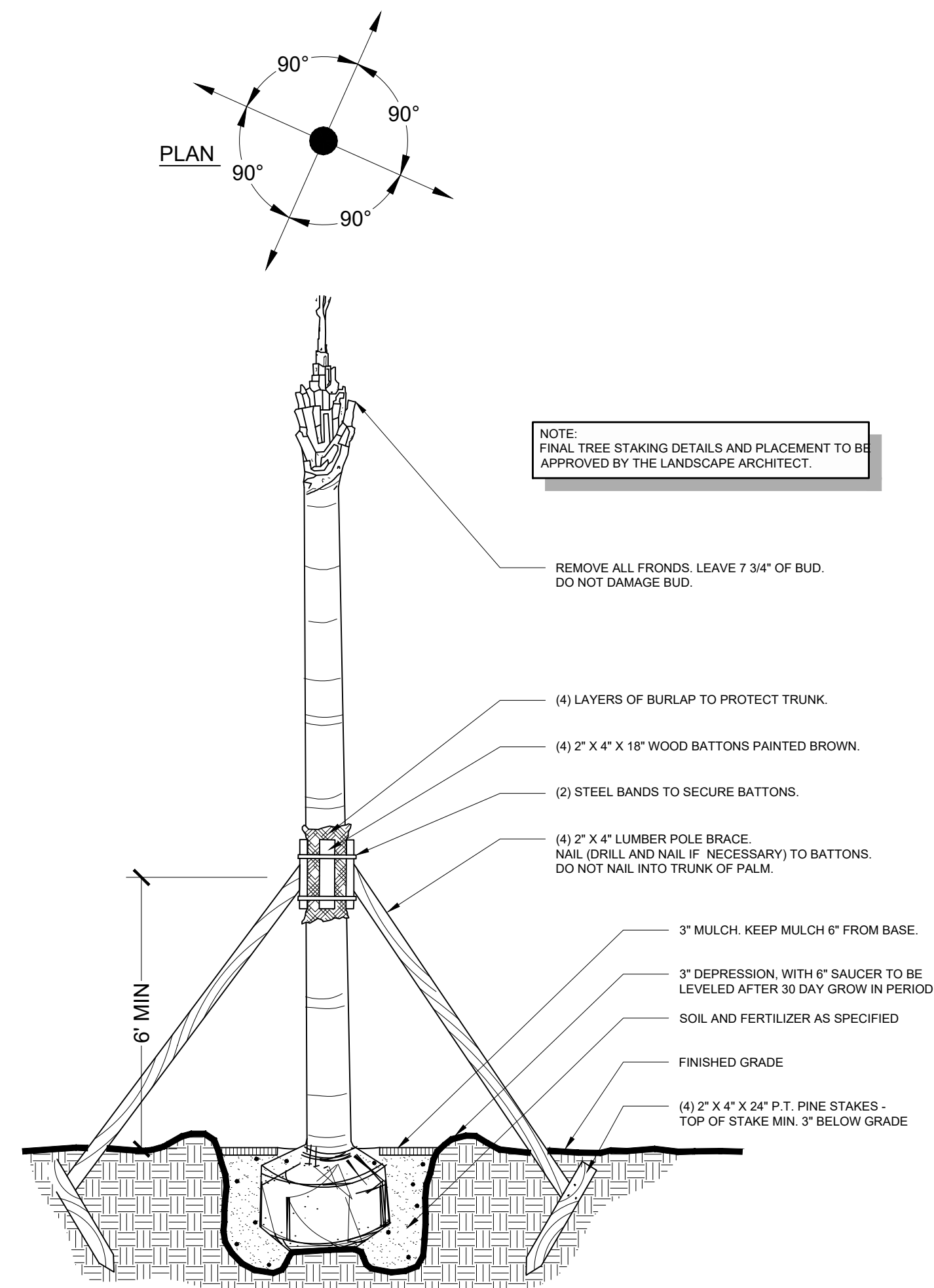
B LARGE TREE INSTALLATION & STAKING
SCALE: N.T.S.



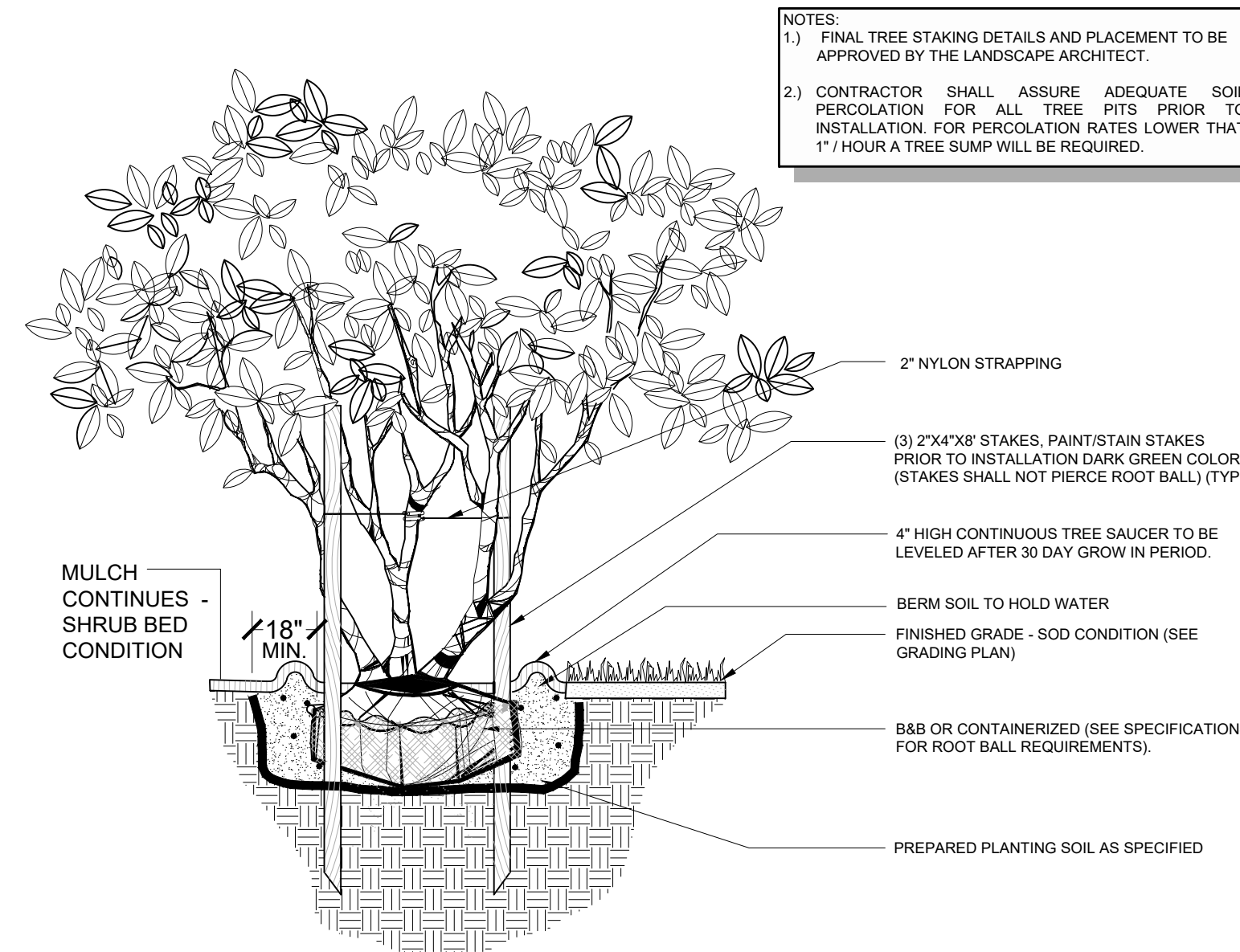
E SMALL TREE INSTALLATION
SCALE: N.T.S.



C CABBAGE PALM INSTALLATION
SCALE: N.T.S.



F MULTI-TRUNK TREE INSTALLATION & STAKING
SCALE: N.T.S.



WALDROP
ENGINEERING

IN

CODE MINIMUM LANDSCAPE PLANS

OAK CREEK PARCEL 10

CLIENT: TAYLOR MORRISON OF FLORIDA, INC.

LANDSCAPE DETAILS

PLAN REVISIONS	REVISED PER COUNTY COMMENTS
1	01/14/2019
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FLORIDA CERTIFICATE OF AUTHORIZATION #LC2606035

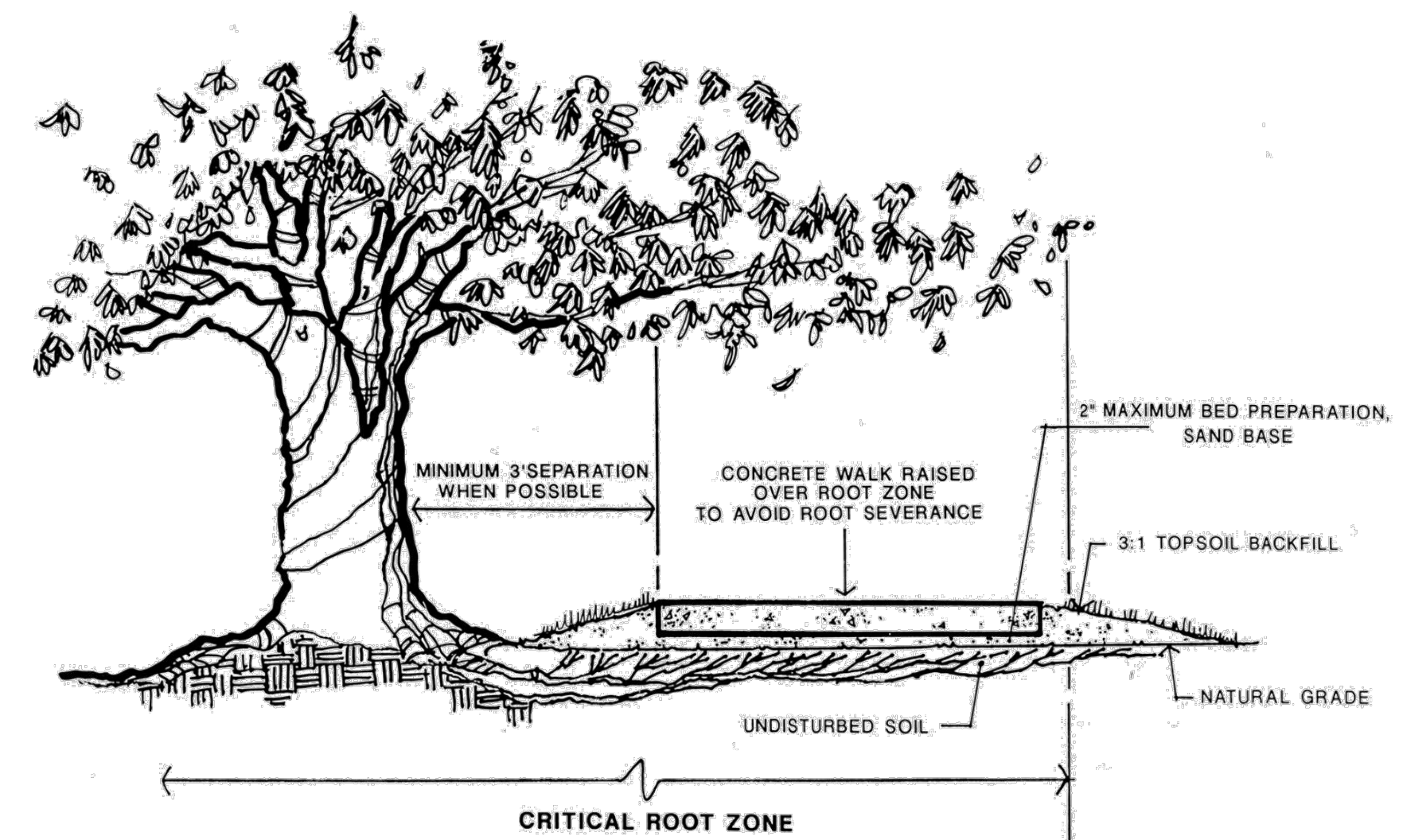
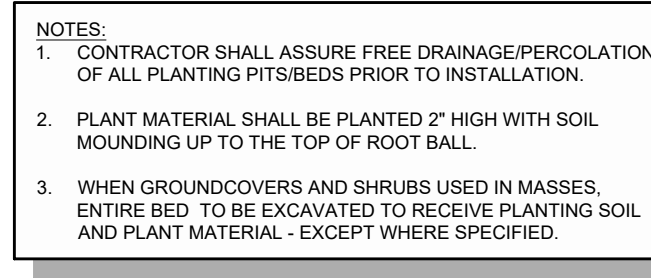
RYAN R. BINKOWSKI, P.L.A.
FL LICENSE NO. LA666794

SET NUMBER:

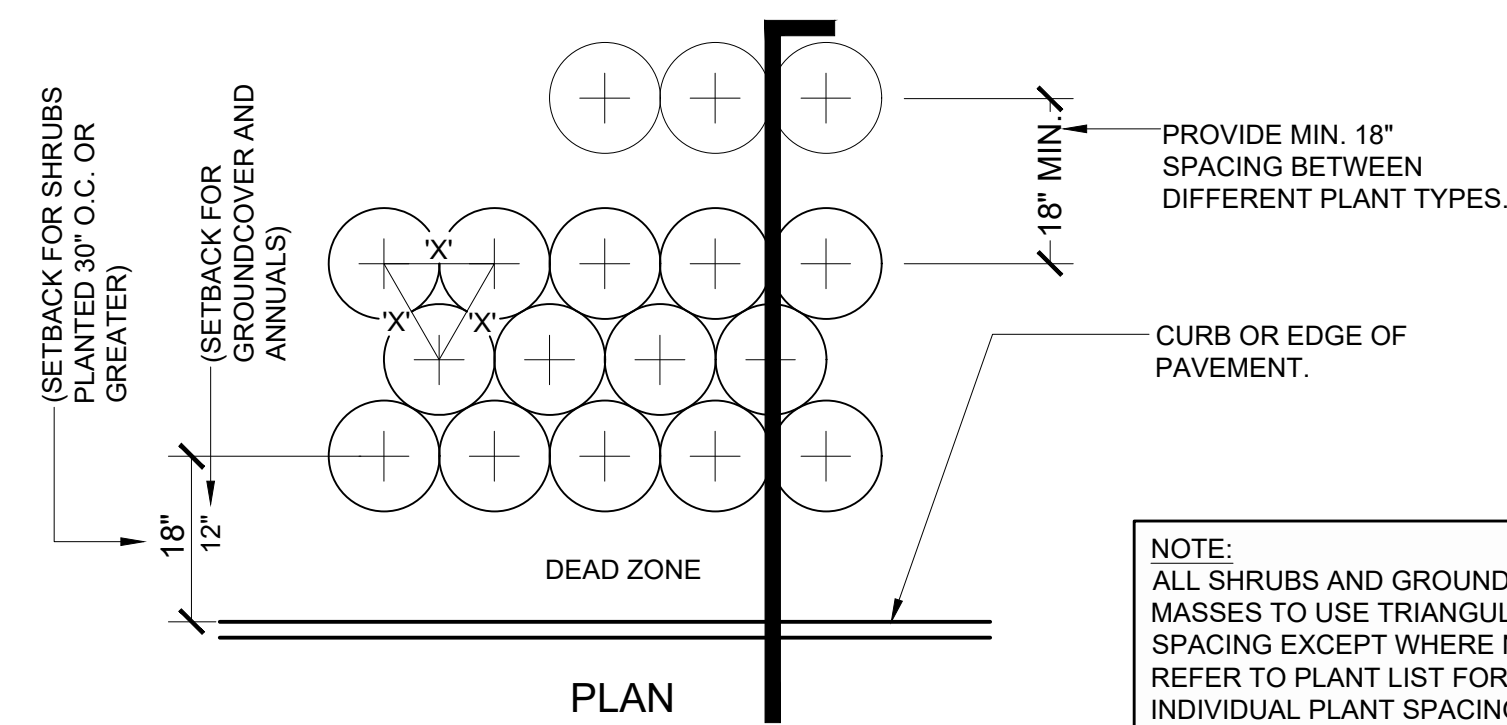
802-27-01

SHEET:

07



F SIDEWALK ~ HILLSBOROUGH CO. BRIDGING DETAIL
SCALE: N.T.S.



(SETBACK FOR SHRUBS PLANTED 36" O.C. OR GREATER)

18"

(SETBACK FOR GROUNDCOVER AND ANNUALS)

12"

18" MIN.

PROVIDE MIN. 18" SPACING BETWEEN DIFFERENT PLANT TYPES.

NOTE: ALL SHRUBS AND GROUNDCOVER MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED. REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING "X".

CURB OR EDGE OF PAVEMENT.

The diagram illustrates a cross-section of a sod installation. It shows a base layer of planting soil, followed by a 3-inch layer of mulch, and a top layer of sod. Arrows point from the text labels to the corresponding layers in the diagram.

SOD (PROVIDE CLEAN, SMOOTH EDGE BETWEEN SOD AND MULCHED AREAS)

3" MIN. MULCH (SEE SPECIFICATIONS)

PLANTING SOIL (FINE RAKED AND FREE OF WEEDS AND OTHER DELETERIOUS MATERIALS, SEE SPECIFICATIONS.)

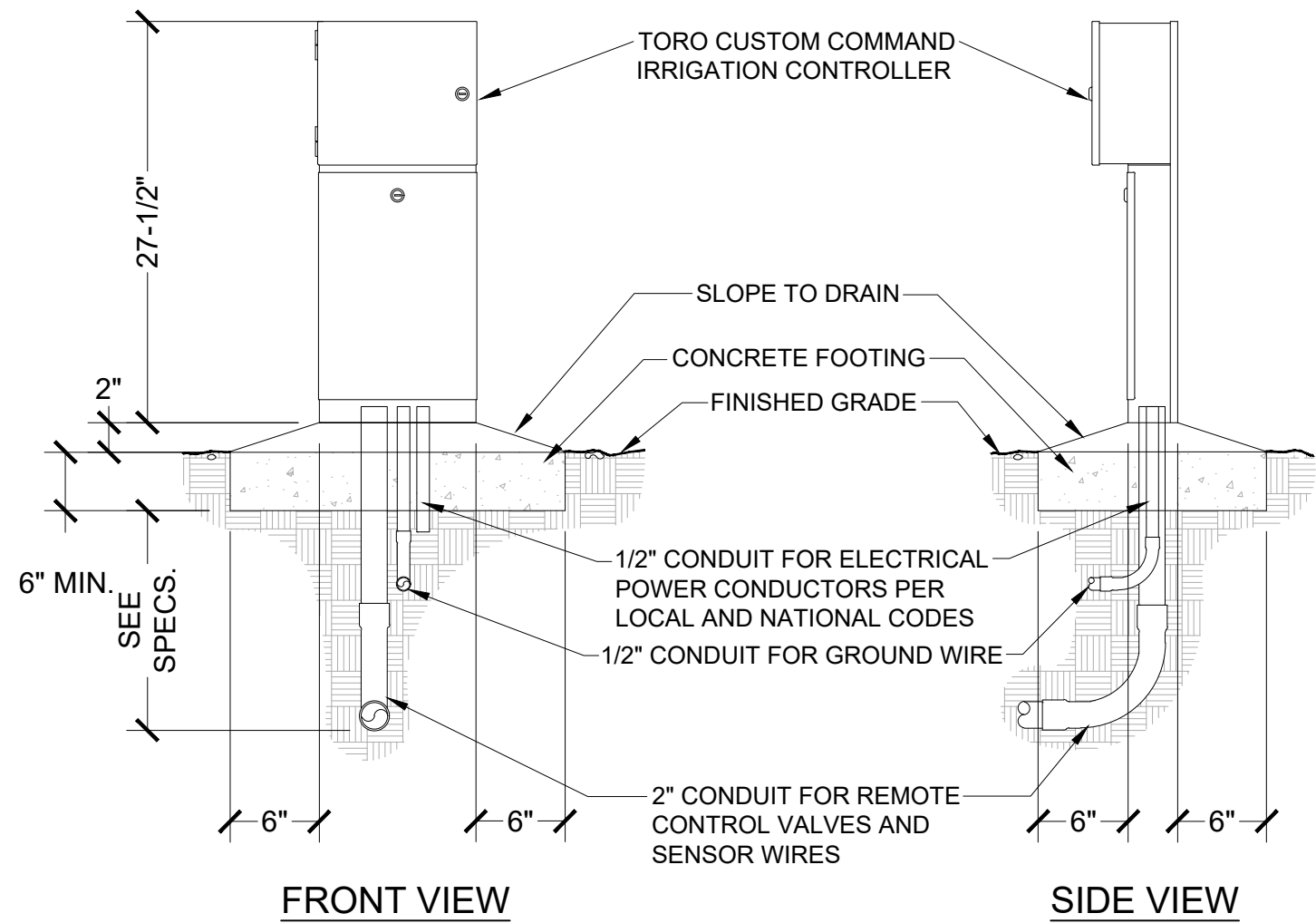
NOTE:
 1.) COMPLETELY REMOVE EXISTING SOD AS REQUIRED PRIOR TO LAYING MULCH.
 2.) ALL MULCH SHALL BE PEST AND INSECT FREE.

C MULCH APPLICATION ~ TYPE 1
SCALE: N.T.S.

T:\Projects\302-27 Oak Creek\Parcel 10 Code Min Drawings\Enhancements\302-27-01 Oak Creek 10 CMAA\Current Plans\30227-0109.dwg
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A PEDESTAL-MOUNT CONTROLLER (TORO CONTROLLER SHOWN)

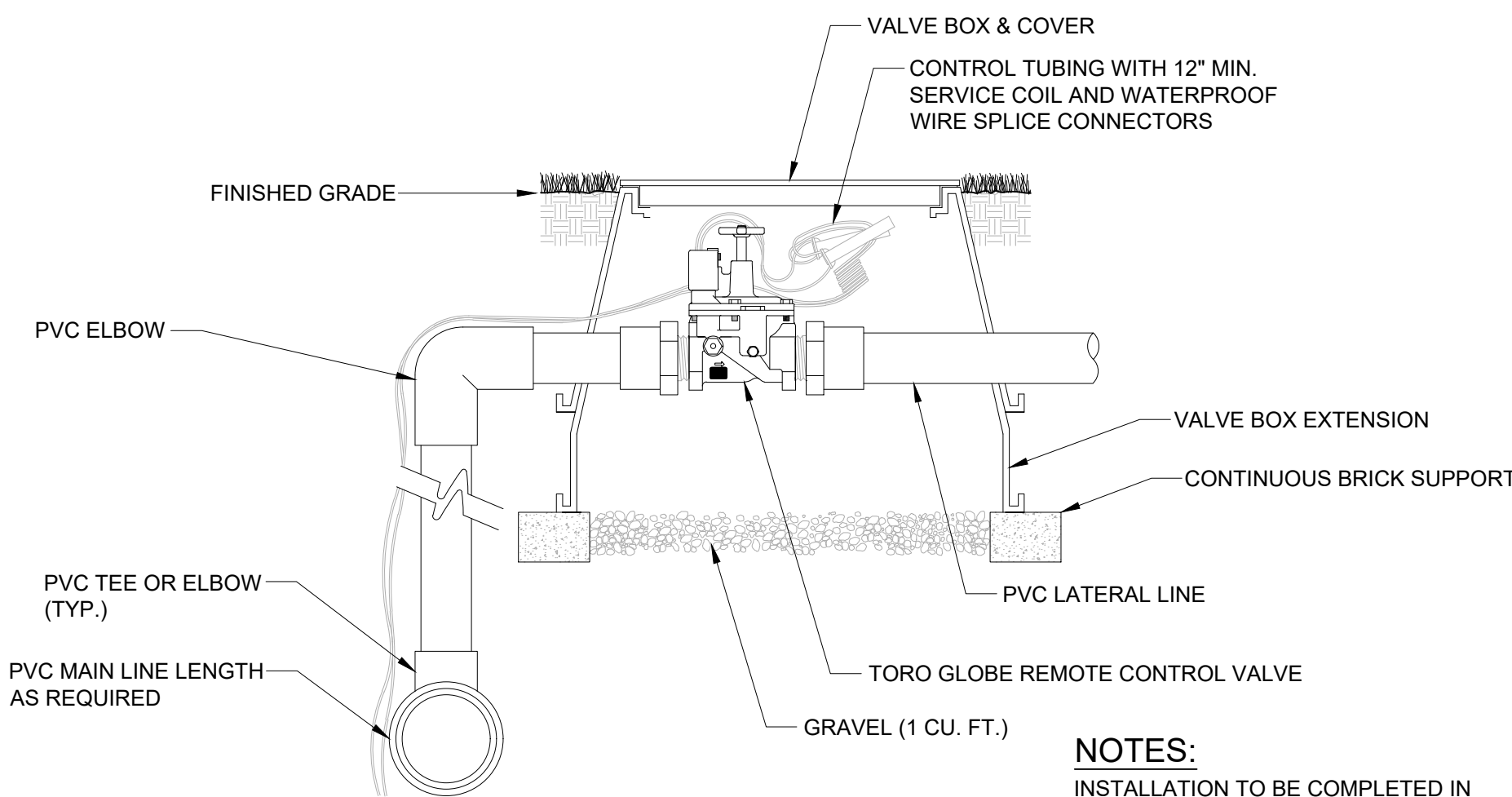
SCALE: N.T.S.



NOTE:
INSTALLATION TO BE COMPLETED IN
ACCORDANCE WITH
MANUFACTURER'S SPECIFICATIONS.

B VALVE (TORO 220 SERIES SHOWN)

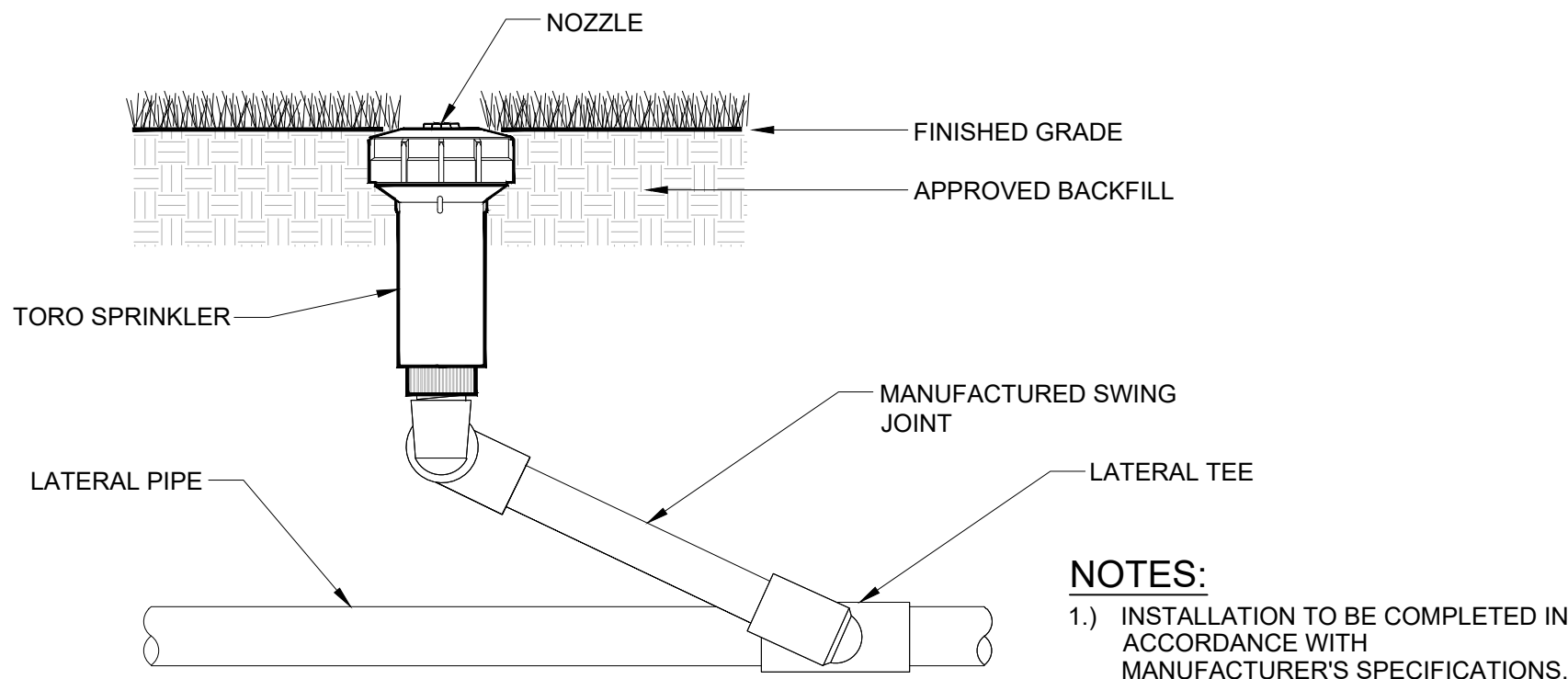
SCALE: N.T.S.



NOTES:
INSTALLATION TO BE COMPLETED IN
ACCORDANCE WITH
MANUFACTURER'S SPECIFICATIONS.

C FIXED-SPRAY SPRINKLER (TORO 570Z SHOWN)

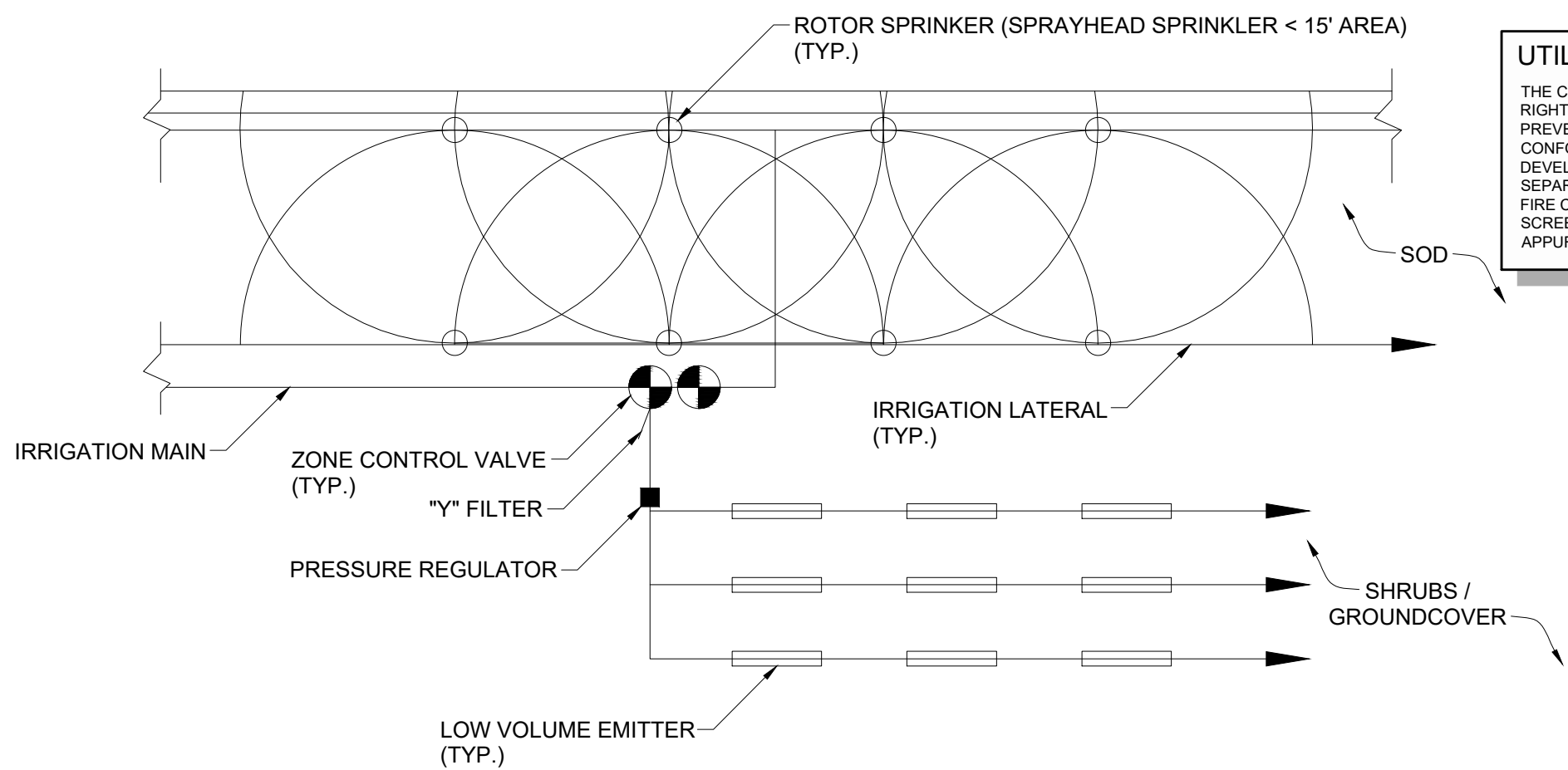
SCALE: N.T.S.



NOTES:
1.) INSTALLATION TO BE COMPLETED IN
ACCORDANCE WITH
MANUFACTURER'S SPECIFICATIONS.
2.) INSTALL SPRINKLER AT FINISHED
GRADE.

D TYPICAL IRRIGATION DETAIL

SCALE: N.T.S.



UTILITY APPURTENANCE NOTE:
THE CONSTRUCTION OF ALL ABOVE GROUND UTILITY APPURTENANCES VISIBLE FROM PUBLIC
RIGHT-OF-WAY SUCH AS PEDESTALS, UTILITY METERS, TRANSFORMERS, BACK-FLOW
PREVENTION DEVICES, ETC. FOR NEW DEVELOPMENT OR REDEVELOPMENT ACTIVITIES SHALL
CONFORM TO SCREENING REQUIREMENTS AS OUTLINED IN SECTION 6.06.08.C.10 OF THE LAND
DEVELOPMENT CODE. PLANT LOCATION MUST BE CONSIDERATE OF REQUIRED SPATIAL
SEPARATIONS FROM A FIRE FLOW PROTECTION APPLIANCE IN ACCORDANCE TO THE UNIFORM
FIRE CODE. HEDGE MATERIAL TO BE SWEET VIBURNUM INSTALLED AT 30\"/>

NOTE:
TREE SELECTION FOR INDIVIDUAL LOTS SHALL BE SELECTED AT TIME OF
CONSTRUCTION FROM APPROVED HILLSBOROUGH COUNTY TREE LIST
AND MEET THE SIZE AND SPECIFICATIONS AS REQUIRED ON SHEET 02
(TREE REPLACEMENT REQUIREMENTS CHART)

NOTE:
GROUPED PLANT SYMBOLS SHOWN ARE REPRESENTATIVE OF GENERAL
TREE AND SHRUB REQUIREMENTS. ALL SUBSTITUTIONS MADE TO
FOLLOW LOCAL COUNTY CODE.

HILLSBOROUGH COUNTY IRRIGATION NOTES:

- IRRIGATION ZONES DELINEATED AS MICRO-IRRIGATION OR WITH IRRIGATION TECHNIQUES OTHER THAN MICRO-IRRIGATION.
- TURF AREAS ARE ON SEPARATE IRRIGATION ZONES FROM OTHER LANDSCAPE PLANT ZONES.
- IRRIGATION SPRAYS AND ROTORS ARE NOT COMBINED ON THE SAME CONTROL VALVE CIRCUIT.
- SPRAY AND ROTORS HAVE MATCHING APPLICATION RATES WITHIN EACH IRRIGATION ZONE.
- IRRIGATION SYSTEM AVOIDS OVER-SPRAY AND RUNOFF ONTO WALKWAYS, ROADWAYS, STRUCTURES OR OTHER NON-LANDSCAPED AREAS
- FOUR FEET WIDE OR LESS LANDSCAPE AREAS CONTAIN MICRO-IRRIGATION ONLY.
- SPRINKLER SPACING DOES NOT EXCEED 85% OF THE SPRINKLER'S DIAMETER OF COVERAGE.
- IRRIGATION CONTROL EQUIPMENT CONTAINS AN AUTOMATIC IRRIGATION CONTROLLER WITH PROGRAM FLEXIBILITY UNLESS MECHANICAL. THE AUTOMATIC IRRIGATION CONTROLLER CONTAINS A BATTERY BACK UP TO RETAIN IRRIGATION PROGRAMS.
- EACH LOT TO PROVIDE AN OPERABLE RAIN SENSOR DEVICE EXPOSED TO UNOBSTRUCTED RAINFALL.

TREE PLANTING NOTES:

- ALL TREES SHALL BE GUARANTEED FOR TWO YEARS FROM DATE OF COUNTY ACCEPTANCE
- EACH TREE SHALL RECEIVE SIX "AGRIFORM" 21 GRAM TABLETS PER MANUFACTURER'S DIRECTIONS.
- FLEXIBILITY SHALL BE GIVEN TO THE PLACEMENT OF STREET TREES TO ACCOMMODATE IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, LIGHTING, ETC.
- STREET TREE SHALL HAVE A MINIMUM CLEARANCE OF 15' FROM STREET LIGHTS. SHALL NOT BE INSTALLED WITHIN 10 FT. OF ANY ABOVE GROUND UTILITY OR WITHIN 30 FT. OF THE FACE OF A STOP SIGN
- STREET TREE PLANTINGS IN "COMMON TRACTS" TO BE INSTALLED PRIOR TO AS-BUILT INSPECTION
- TREE PLANTING SHALL INCLUDE ROOT BARRIER PROTECTION TO PREVENT ROOT GROWTH INTO UTILITIES, DRAINAGE, SIDEWALKS AND OTHER PAVED AREAS.
- APPLY A 3" LAYER OF MULCH LAYER TO ALL PROPOSED TREE, SHRUB, GROUND COVER AND VINE PLANTINGS
- ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI) A-300 PRUNING STANDARDS.

PLANTING SCHEDULE AND SPECIFICATIONS

TREES/PALMS (CODE REQUIRED)

QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	SPACING	CODE
25	QUERCUS VIRGINIANA	LIVE OAK	MIN. 10' - 12' HT., 2" DBH, FULL, FLORIDA NO. 1 OR BETTER	AS SHOWN	Y
34	QUERCUS SHUMARDII	SHUMARD OAK	MIN. 10' - 12' HT., 2" DBH, FULL, FLORIDA NO. 1 OR BETTER	AS SHOWN	Y
35	MAGNOLIA GRANDIFLORA DD BLANCHARD	SOUTHERN MAGNOLIA DD BLANCHARD	MIN. 10' - 12' HT., 2" DBH, FULL, FLORIDA NO. 1 OR BETTER	AS SHOWN	Y
18	LIGUSTRUM JAPONICUM**	LIGUSTRUM TREE	MIN. 8'x8' SPD, MULTI-TRUNK (MIN. 3 TRUNKS, 1" CAL EA.), FULL, FLORIDA NO. 1 OR BETTER	AS SHOWN	Y
75	LOT SHADE TREE*		MIN. 10' - 12' HT., 2" DBH, FULL, FLORIDA NO. 1 OR BETTER	AS SHOWN	Y

* LOT TREES SHALL BE SELECTED FROM THE APPROVED HILLSBOROUGH COUNTY TREE LIST AT TIME OF LOT PERMITTING.

** LIGUSTRUM TREES REQUIRED PER MM-18-0193RV, 6-12-18.

MISCELLANEOUS

QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATION
58,722 SF	IRRIGATION		100% HEAD TO HEAD IN TURF AREAS, MICRO DRIP EMITTERS FOR ALL PLANTINGS
58,722 SF	BAHIA SOD	BAHIA SOD	TO BE FIELD VERIFIED BY CONTRACTOR. (AREA IS FOR COMMON SPACE ONLY)
777 SF	MULCH	PINE STRAW MULCH	MIN. 3" THICK

GENERAL NOTES:

- NO REFERENCE TO ENGINEERING SHOULD BE MADE FROM THIS SHEET. FOR LANDSCAPE REFERENCE ONLY.
- ANY DEVIATION FROM PLANT QUANTITY, SIZE OR GRADE MAY JEOPARDIZE THE CERTIFICATE OF OCCUPANCY.
- THE HEALTHY, NEAT, AND ORDERLY APPEARANCE OF ALL REQUIRED LANDSCAPING MATERIALS IS THE CONTINUOUS RESPONSIBILITY OF THE PROPERTY OWNER.
- SLOPES 4:1 OR GREATER SHALL REQUIRE SODDING FOR STABILIZATION.
- CONTRACTOR SHALL VERIFY ALL FINAL TREE LOCATIONS IN REGARD TO CONFLICTS SUCH AS UTILITIES, DRAINAGE, ETC.
- IN ORDER TO COMPLY WITH SECTION 4.01.05.A OF THE HILLSBOROUGH COUNTY LAND DEVELOPMENT CODE TO MINIMIZE SOIL EROSION PROPOSED LAND ALTERATION ACTIVITIES SHALL NOT UNNECESSARILY REMOVE EXISTING VEGETATION AND ALTER EXISTING TOPOGRAPHY. ADEQUATE PROTECTION MEASURES (IE: HAY BALES, BUFFLES, SODDING AND SANDBAGGING) SHALL BE PROVIDED, AS NECESSARY, TO MINIMIZE EROSION AND DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUN-OFF ON EXPOSED LAND SURFACES.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE, SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
- FOR COMMERCIAL SITE DEVELOPMENT PROJECTS, NO MORE THAN 50% OF THE LANDSCAPED AREA MAY BE PLANTED WITH SHALLOW-ROOTED (I.E., ST. AUGUSTINE) TURF GRASS VARIETIES. THESE TURF GRASS VARIETIES SHALL BE CONSOLIDATED IN AND LIMITED TO AREAS THAT ARE PROVIDED WITH CENTRAL AUTOMATIC IRRIGATION SYSTEMS.

GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIAL TO BE FLORIDA GRADE #1 OR BETTER, AS DEFINED IN "GRADES AND STANDARDS FOR NURSERY PLANTS", STATE OF FLORIDA DEPT. OF AGRICULTURE.
- ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN SHALL ALSO BE REQUIRED FOR ACCEPTANCE. ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED ON PLANS.
- MINIMUM THREE-INCH (3") THICK LAYER OF MULCH SHALL BE PLACED AROUND ALL NEW PLANT MATERIAL, AND BARE GROUND THAT WILL NOT BE COVERED BY EXISTING VEGETATION, SOD, GRAVEL, PAVEMENT OR ANY OTHER GROUND COVER TREATMENT.
- ALL TREES TO BE HEALTHY, FULL SPECIMEN TYPES. ALL PALMS TO BE SUN GROWN.
- ALL PLANTING BED AREAS TO HAVE 6" OF DARK, FRIABLE TOP SOIL OR BED MIXED CHURNED INTO EXISTING SOIL.
- NEW PLANT MATERIAL, TO BE INSTALLED WILL BE FIELD ADJUSTED TO ACCOMMODATE EXISTING PLANT MATERIAL SUCH AS OVERHEAD CANOPY TREES, UNDERSTORY TREES AND SHRUBS OR GROUND COVER. THIS WILL INSURE EXISTING PLANT MATERIAL TO REMAIN IN ITS NATURAL STATE. THEREFORE, NO EXISTING PLANT MATERIAL WILL BE ALTERED BY REMOVING, CUTTING TRIMMING OR DESTROYING IN ORDER TO INSTALL NEW PLANT MATERIAL.
- ALL TREE STAKING TO BE DONE USING ARBOR TAPE AND THE DUCKBILL ANCHOR SYSTEM.
- ALL LANDSCAPED AREAS TO BE IRRIGATED WITH A FULLY AUTOMATED IRRIGATION SYSTEM.
- ALL TREES SHALL BE LOCATED AT LEAST SIX FEET AWAY FROM THE FLOWLINE OF PERIMETER PROPERTY SWALES AND PROPOSED STORMWATER INLETS.

IRRIGATION NOTES:

- ALL PROPOSED LANDSCAPING TO BE IRRIGATED BY A 100% AUTOMATIC SYSTEM.
- IRRIGATION SYSTEM SHALL NOT BE INSTALLED THROUGH EXISTING PLANT COMMUNITIES.
- IRRIGATION SPRINKLER ZONES TO BE SEPARATE FOR HIGH AND LOW WATER REQUIREMENT AREAS AND OPERATED ON DIFFERENT WATERING SCHEDULES.
- IRRIGATION OVERTHROW TO NONPERVIOUS AND NATURAL AREA TO BE MINIMIZED.
- A RAIN SHUT OFF TO BE INSTALLED WITH IRRIGATION CONTROL SYSTEM.
- IRRIGATION PIPING TO BE LOCATED WITHIN PLANTING OR SOD AREAS WHEREVER FEASIBLE. PIPING UNDER ROADS TO BE INSTALLED WITHIN SCHEDULE 40 PVC SLEEVING.
- ALL TREE, SHRUB AND GROUND COVER AREAS TO BE FULLY IRRIGATED WITH MICRO-IRRIGATION / LOW VOLUME EMITTERS. ALL SOD AREAS TO BE IRRIGATED WITH ROTOR OR SPRAY HEAD SPRINKLERS SPACED TO PROVIDE 75-100% COVERAGE.
- A "Y" TYPE FILTER SHALL BE INSTALLED AT THE HEAD END OF LOW VOLUME LINES AND IN-LINE PRESSURE REGULATORS TO REDUCE PRESSURE TO NO MORE THAN 15 P.S.I. SHALL BE UTILIZED.
- NON-POTABLE IRRIGATION LINES TO BE PURPLE IN COLOR.
- IRRIGATION WATER SUPPLY TO BE PROVIDED BY THE LOWEST WATER QUALITY SOURCE AVAILABLE.
- IRRIGATION AND PLANTINGS SHALL COMPLY WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE.
- THIS IRRIGATION PLAN IS SCHEMATIC AND IS FOR PERMITTING PURPOSES ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS, SHOWING ALL HEADS, VALVES, AND PIPE LINES TO SCALE AFTER COMPLETION OF PIPING INSTALLATION. THE OWNER SHALL PROVIDE INSTRUCTION SHEETS AND PARTS LIST COVERING EQUIPMENT.
- THE CONTRACTOR SHALL MAKE EVERY POSSIBLE EFFORT TO PRESERVE EXISTING PLANT MATERIAL THAT HAS BEEN TAGGED, WHERE SUCH MATERIALS FALLS IN THE PATH OF TRENCHING, THE CONTRACTOR SHALL REROUTE THE PIPE OR HAND TRENCH AS NECESSARY TO PROTECT THE DESIGNATED PLANT MATERIAL. THE CONTRACTOR MUST RESTORE ANY NEW PLANT MATERIAL OR SOD TO ITS ORIGINAL CONDITION IF IT IS DAMAGED BEFORE THE OWNER WILL GIVE FINAL ACCEPTANCE.
- THE OWNER MUST APPROVE ANY SUBSTITUTION MADE.
- ALL PIPE AND CONTROL LINES SHALL BE SLEEVED WITH SCHEDULE 40 PVC AND PLACED A MINIMUM OF 24" BELOW GRADE AND BACKFILLED WITH CLEAN SAND. NO ROCK IS TO BE IN CONTACT WITH THE PVC PIPE. THE CONTRACTOR SHALL PROVIDE MAGNETIC MARKERS AT EACH END OF THE SLEEVE. SLEEVE SHALL BE 4" MINIMUM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE SYSTEM IN COMPLETE ACCORDANCE WITH ALL APPLICABLE CODES ORDINANCES AND LAWS. ANY MODIFICATIONS MADE TO CONFORM WITH SAID CODES, LAWS AND ORDINANCES SHALL BE COMPLETED AT THE CONTRACTORS EXPENSE AT NO ADDITIONAL COST TO THE CLIENT.
- ALL CIRCUIT PIPE IS TO BE CLASS 160 PVC OR A HIGHER GRADE.
- ALL MAIN FITTINGS SHALL BE REINFORCED WITH 2000-PSI POURED CONCRETE THRUST BLOCKS.
- THE IRRIGATION CONTRACTOR IS FULLY RESPONSIBLE FOR THE WORK UNTIL THE OWNER GIVES FINAL ACCEPTANCE.
- CONTRACTOR WILL GUARANTEE THE QUALITY OF HIS MATERIALS AND WORK FOR ONE (1) YEAR. THIS PERIOD BEGINS WITH THE FINAL ACCEPTANCE OF THE OWNER.
- CONTRACTORS ARE EXPECTED TO PERSONALLY EXAMINE THE SITE AND FULLY ACQUAINT THEMSELVES WITH ALL OF THE EXISTING CONDITIONS SO THAT NO MISUNDERSTANDING MAY AFTERWARDS ARISE. TO THE CHARACTER OR AS TO THE EXTENT OF THE WORK TO BE DONE. THIS WILL ALSO ENSURE THE CONTRACTOR WILL BE AWARE OF WHAT PRECAUTIONS NEED TO BE TAKEN TO AVOID INJURY TO PEOPLE OR DAMAGE TO PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE SYSTEM FOR THE IRRIGATION OF ALL LANDSCAPE PLANTING ON SITE. PLANS AND SPECIFICATIONS MAY NOT INDICATE ALL ITEMS NECESSARY FOR THE PROPER IRRIGATION OF THE PROJECT AND THE CONTRACTOR HOLDS THE RESPONSIBILITY FOR FURNISHING LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE AND PROPER PROJECT EVEN IF NOT IN THE INITIAL SPECIFICATIONS.
- ALL IRRIGATION WATER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A MINIMUM HORIZONTAL DISTANCE OF SIX (6) FEET MEASURED EDGE TO EDGE AND A VERTICAL DISTANCE OF TWELVE INCHES (12") BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE MINIMUM SEPARATION CANNOT BE MAINTAINED, SEE CROSSOVER DETAIL REQUIREMENTS IN THE DETAIL SHEETS.

**WALDROP
ENGINEERING**

CIVIL ENGINEERING &
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CODE MINIMUM LANDSCAPE PLANS

OAK CREEK PARCEL 10

CLIENT: TAYLOR MORRISON OF FLORIDA, INC.

GENERAL NOTES SPECIFICATIONS & SCHEDULE

PLAN REVISIONS	REVISED	REVISIONS	DATE
1	01/14/2019	REVISED PER COUNTY COMMENTS	
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FLORIDA CERTIFICATE OF AUTHORIZATION #LC2606035

RYAN R. BINKOWSKI, P.L.A.

FL. LICENSE NO. LA666704

SET NUMBER:

SHEET :

302-27-01

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